

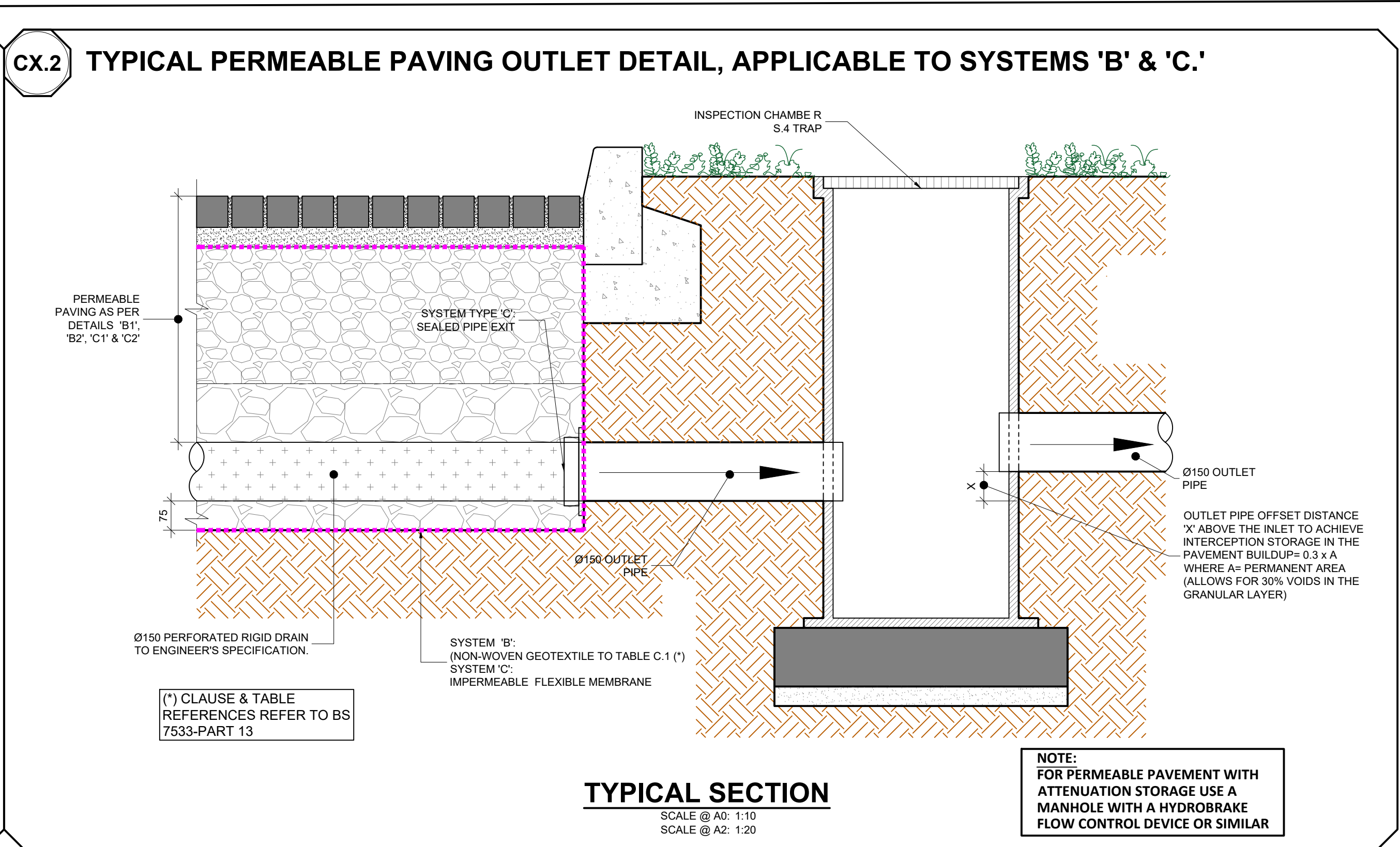
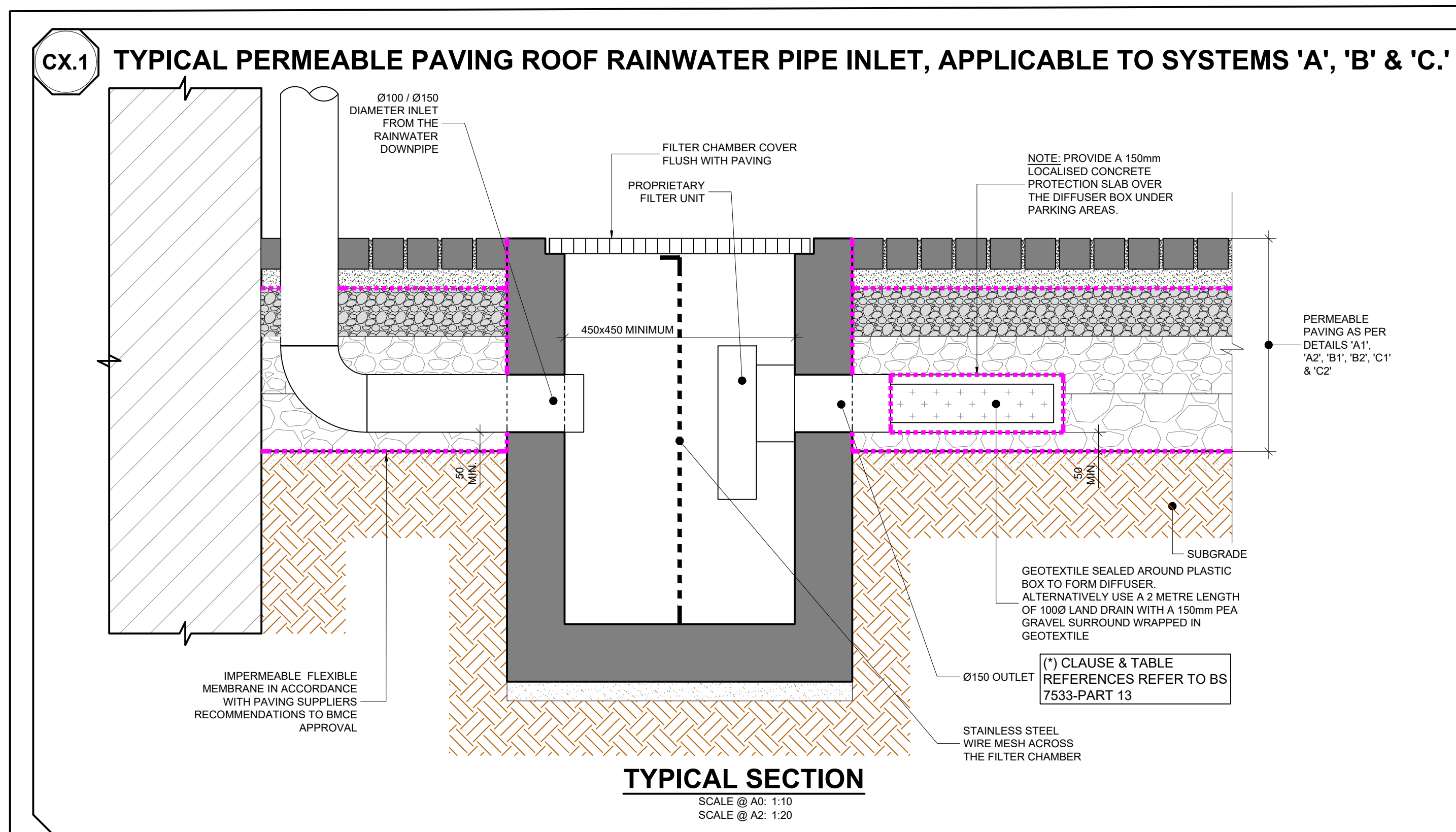
MAINTENANCE REQUIREMENTS FOR PERMEABLE PAVEMENTS

REGULAR MAINTENANCE
BRUSHING AND VACUUMING (STANDARD COSMETIC SWEEP OVER WHOLE SURFACE). ONCE A YEAR, AFTER AUTUMN LEAF FALL, OR REDUCED FREQUENCY AS REQUIRED, BASED ON SITE-SPECIFIC OBSERVATIONS OF CLOGGING OR MANUFACTURER'S RECOMMENDATIONS - PAY PARTICULAR ATTENTION TO AREAS WHERE WATER RUNS ONTO PERVIOUS SURFACE FROM ADJACENT IMPERMEABLE AREAS AS THIS AREA IS MOST LIKELY TO COLLECT THE MOST SEDIMENT.
STABILISE AND MOW CONTRIBUTING AND ADJACENT AREAS. FREQUENCY - AS REQUIRED.
REMOVAL OF WEEDS OR MANAGEMENT USING GLYPHOSATE APPLIED DIRECTLY INTO THE WEEDS BY AN APPLICATOR RATHER THAN SPRAYING. FREQUENCY - AS REQUIRED - ONCE PER YEAR ON LESS FREQUENTLY USED PAVEMENTS.

REMEDIAL ACTIONS
REMEDIAL ANY LANDSCAPING WHICH, THROUGH VEGETATION MAINTENANCE OR SOIL SLIP, HAS BEEN RAISED TO WITHIN 50mm OF THE LEVEL OF THE PAVING. FREQUENCY - AS REQUIRED.
REMEDIAL WORK TO ANY DEPRESSIONS, RUTTING AND CRACKED OR BROKEN BLOCKS CONSIDERED DETRIMENTAL TO THE STRUCTURAL PERFORMANCE OR A HAZARD TO USERS, AND REPLACEMENT OF LOST JOINTING MATERIAL. FREQUENCY - AS REQUIRED.
REHABILITATION OF SURFACE AND UPPER SUBSTRUCTURE BY REMEDIAL SWEEPING. FREQUENCY - EVERY 10 TO 15 YEARS OR AS REQUIRED (IF INFILTRATION PERFORMANCE IS REDUCED DUE TO SIGNIFICANT CLOGGING).

MONITORING
INITIAL INSPECTION - MONTHLY FOR THREE MONTHS AFTER INSTALLATION. INSPECT FOR EVIDENCE OF POOR OPERATION AND/OR WEED GROWTH AND IF REQUIRED, TAKE REMEDIAL ACTION.
THREE MONTHLY, 48 H AFTER LARGE STORMS IN FIRST SIX MONTHS. INSPECT SILT ACCUMULATION RATES AND ESTABLISH APPROPRIATE BRUSHING FREQUENCIES.
MONITOR INSPECTION CHAMBERS ANNUALLY.

NOTE:
FOR PERMEABLE PAVED AREAS WITHIN 3.5m OF BUILDING FOUNDATIONS OR 1.5 METRES OF THE SITE BOUNDARY, AN IMPERMEABLE MEMBRANE STRIP 1.5m WIDE SHOULD BE PROVIDED IE. TYPE B1 OR B2 DETAILS WILL APPLY LOCALLY.



PERMEABLE PAVING TYPICAL DETAILS

- NOTES**
- THIS DRAWING IS TO BE READ IN CONJUNCTION WITH ALL ENGINEERS & ARCHITECTS DRAWINGS FIGURED DIMENSIONS ONLY (NOT SCALING) TO BE USED. WHERE A CONFLICT OF INFORMATION EXISTS OR IF IN ANY DOUBT - ASK.
 - CONSULTANTS TO BE INFORMED IMMEDIATELY OF ANY DISCREPANCIES BEFORE WORK PROCEEDS.

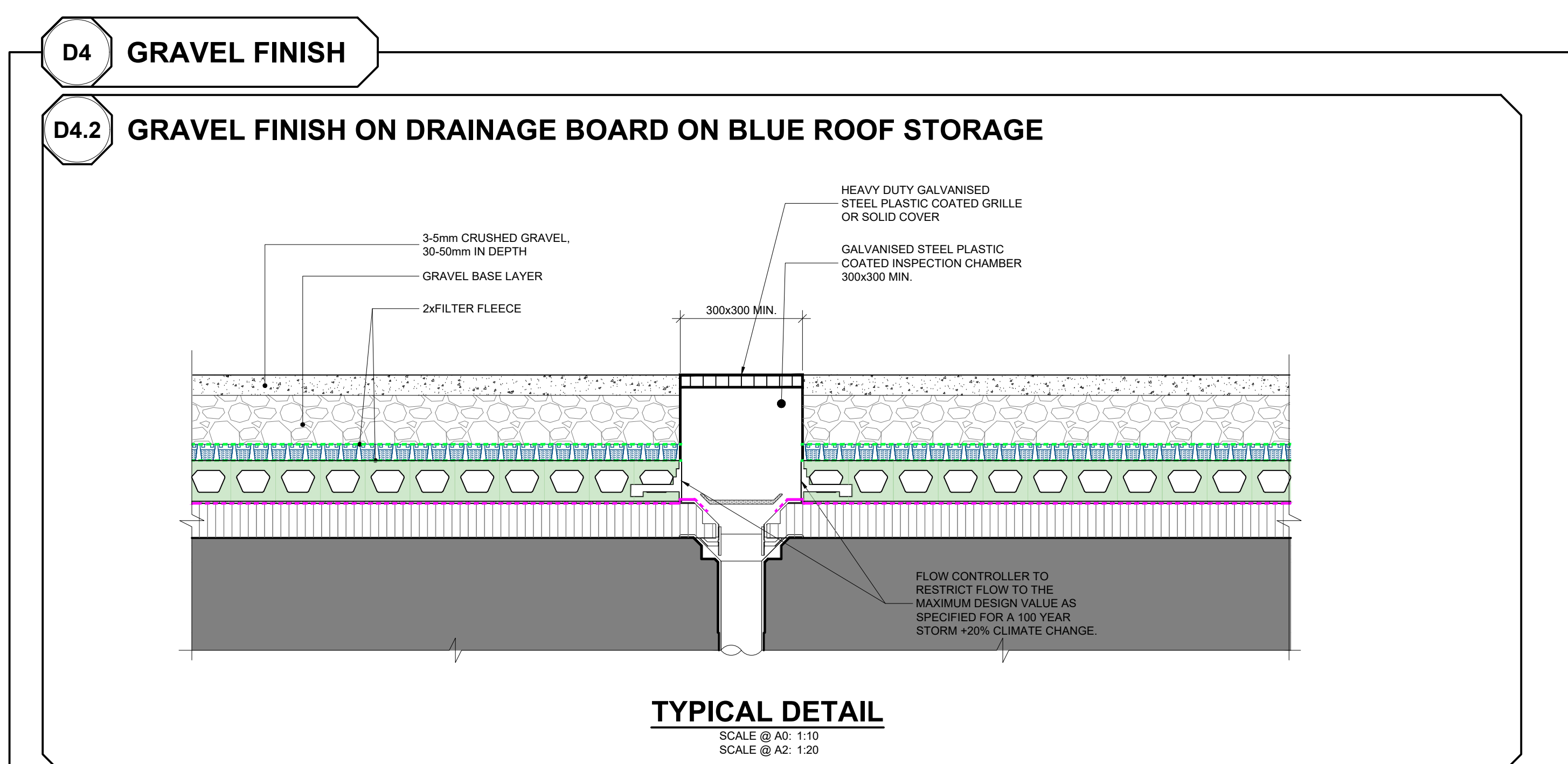
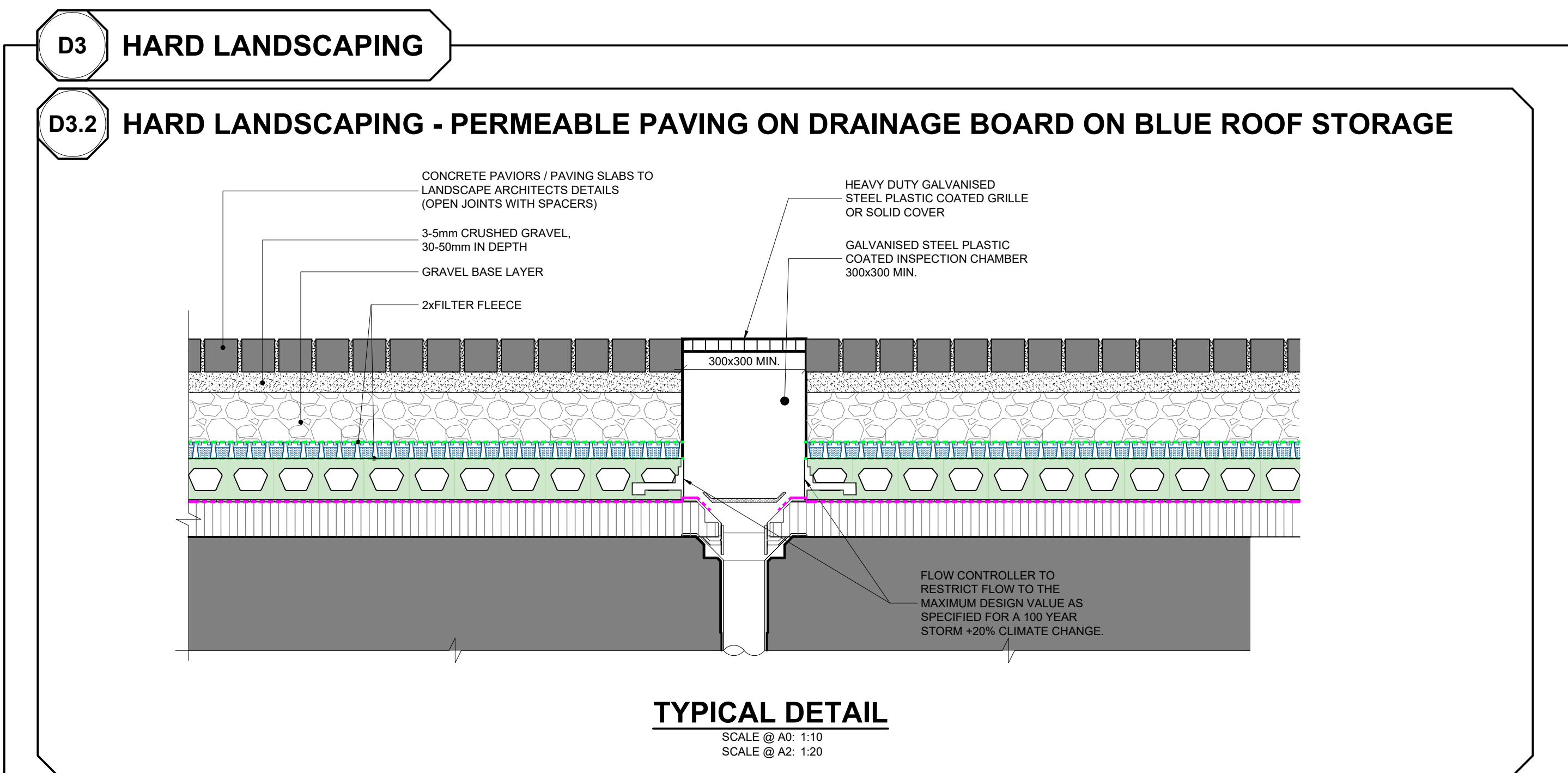
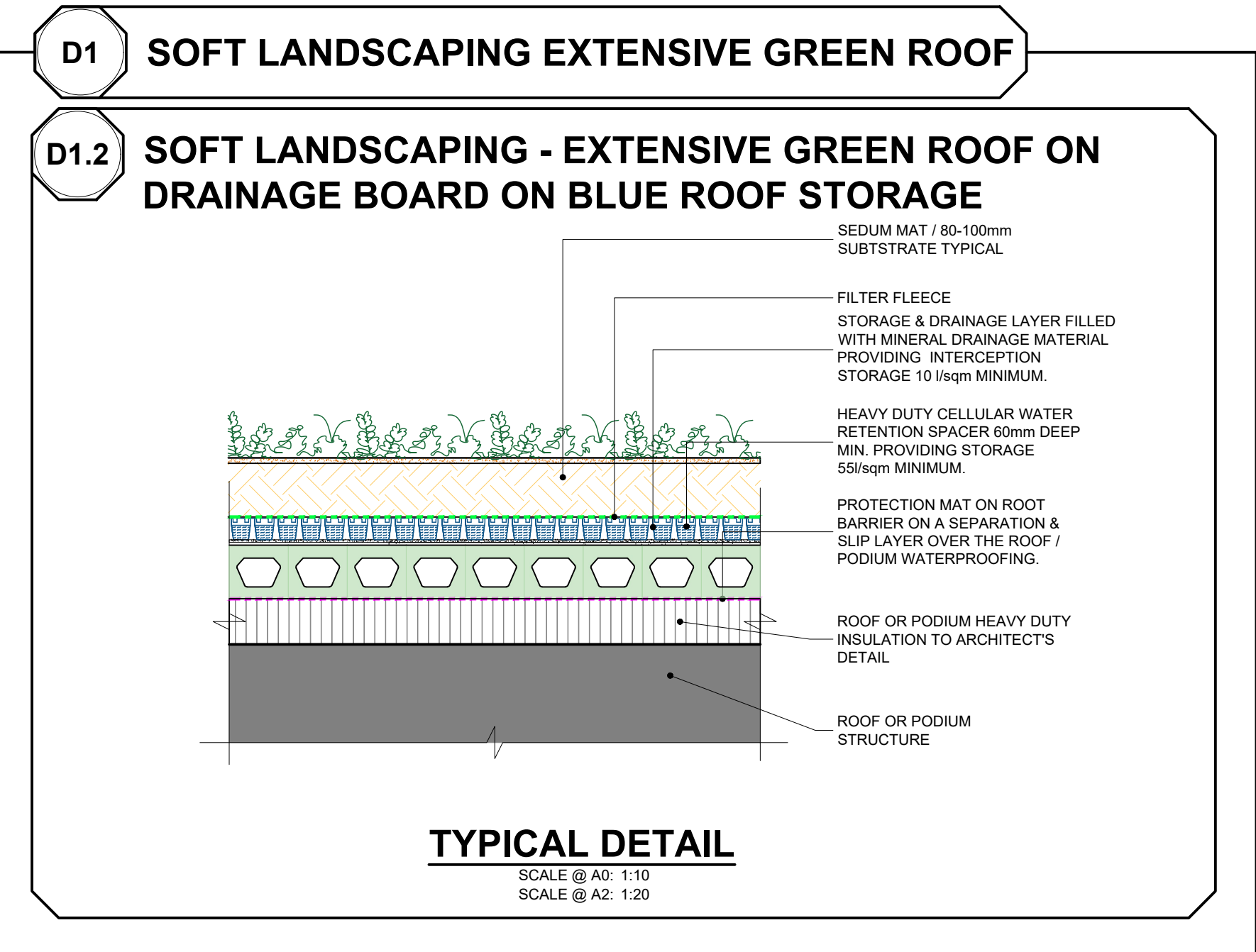
- NOTES:**
- DETAILED DESIGN & SPECIFICATION OF BLUE & GREEN ROOF OR PODIUM SYSTEMS BY THE SUPPLIER, SUBJECT TO APPROVAL.
 - ALL MEMBRANES / SHEETS TO BE UV STABILISED & ROT PROOF.
 - A 1000 mm EMERGENCY PARAPET OVERFLOW PIPE SHOULD BE PROVIDED ON ALL BLUE ROOFS.

MAINTENANCE REQUIREMENTS FOR GREEN ROOFS

REGULAR INSPECTIONS ANNUALLY AND AFTER SEVERE STORMS. INSPECT ALL COMPONENTS INCLUDING SOIL SUBSTRATE, VEGETATION, DRAINS, IRRIGATION SYSTEMS (IF APPLICABLE), MEMBRANES AND ROOF STRUCTURE FOR PROPER OPERATION, INTEGRITY OF WATERPROOFING AND STRUCTURAL STABILITY. INSPECT SOIL SUBSTRATE FOR EVIDENCE OF EROSION STABILITY AND IDENTIFY ANY SEDIMENT SOURCES. INSPECT DRAIN INLETS TO ENSURE UNRESTRICTED RUNOFF FROM THE DRAINAGE LAYER TO THE CONVEYANCE OR ROOF DRAIN SYSTEM. INSPECT UNDERSIDE OF ROOF FOR EVIDENCE OF LEAKAGE.

REGULAR MAINTENANCE
REMOVE DEBRIS AND LITTER TO PREVENT CLOGGING OF INLET DRAINS AND INTERFERENCE WITH PLANT GROWTH. SIX MONTHLY AND ANNUALLY OR AS REQUIRED.
DURING ESTABLISHMENT (I.E. YEAR ONE), REPLACE DEAD PLANTS AS REQUIRED. MONTHLY (BUT USUALLY RESPONSIBILITY OF MANUFACTURER).
POST ESTABLISHMENT, REPLACE DEAD PLANTS AS REQUIRED (WHERE > 5% OF COVERAGE). ANNUALLY (IN AUTUMN).
REMOVE FALLEN LEAVES AND DEBRIS FROM DECIDUOUS PLANT FOLIAGE. SIX MONTHLY OR AS REQUIRED.
REMOVE NUISANCE AND INVASIVE VEGETATION, INCLUDING WEEDS SIX MONTHLY OR AS REQUIRED. MOW GRASSES, PRUNE SHRUBS AND MANAGE OTHER PLANTING (IF APPROPRIATE) AS REQUIRED. CLIPPINGS SHOULD BE REMOVED AND NOT ALLOWED TO ACCUMULATE. SIX MONTHLY OR AS REQUIRED.

REMEDIAL ACTIONS
IF EROSION CHANNELS ARE EVIDENT, THESE SHOULD BE STABILISED WITH EXTRA SOIL SUBSTRATE SIMILAR TO THE ORIGINAL MATERIAL, AND SOURCES OF EROSION DAMAGE SHOULD BE IDENTIFIED AND CONTROLLED. FREQUENCY AS REQUIRED.
IF DRAIN INLET HAS SETTLED, CRACKED OR MOVED, INVESTIGATE AND REPAIR AS APPROPRIATE. FREQUENCY AS REQUIRED.



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ISSUE	DATE	DESCRIPTION	BY
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DRAWING TITLE: PERMEABLE PAVING STANDARD DETAILS & HARD LANDSCAPING ON PODIUM / ROOF AREAS STANDARD DETAILS			
ISSUE	DATE	STATUS	REVISION
1	FR-BMCE-ZZ-ZZ-DR-C-12300	-	PL2