

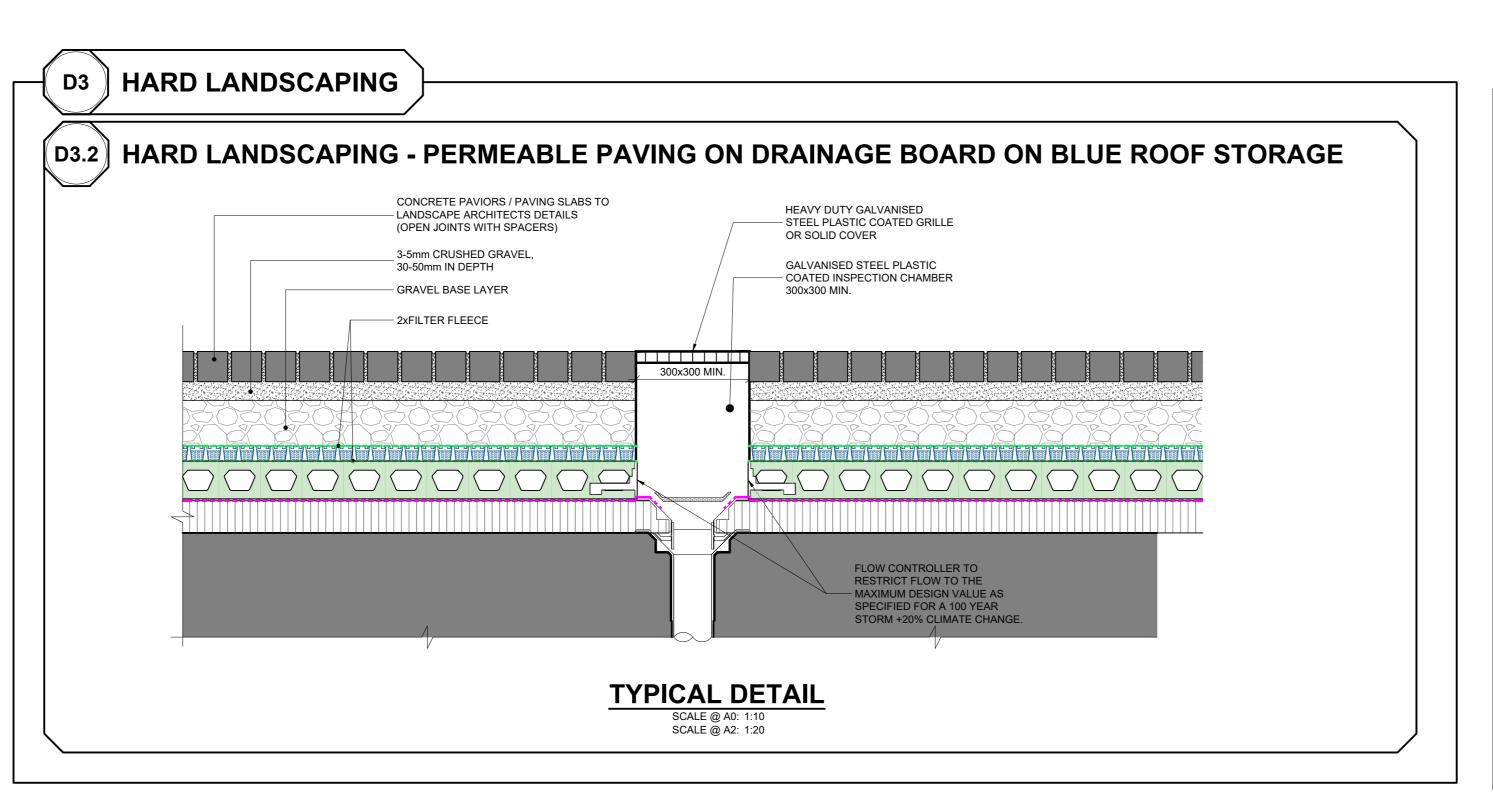
MAINTENANCE REQUIREMENTS FOR PERMEABLE PAVEMENTS REGULAR MAINTENANCE BRUSHING AND VACUUMING (STANDARD COSMETIC SWEEP OVER WHOLE SURFACE). ONCE A YEAR, AFTER AUTUMN LEAF FALL, OR REDUCED FREQUENCY AS REQUIRED, BASED ON SITE-SPECIFIC OBSERVATIONS OF CLOGGING OR MANUFACTURER'S RECOMMENDATIONS - PAY PARTICULAR ATTENTION TO AREAS WHERE WATER RUNS ONTO PERVIOUS SURFACE FROM ADJACENT IMPERMEABLE AREAS AS THIS AREA IS MOST LIKELY TO COLLECT THE MOST SEDIMENT STABILISE AND MOW CONTRIBUTING AND ADJACENT AREAS. FREQUENCY - AS REQUIRED REMOVAL OF WEEDS OR MANAGEMENT USING GLYPHOSPATE APPLIED DIRECTLY INTO THE WEEDS BY AN APPLICATOR RATHER THAN SPRAYING. FREQUENCY - AS REQUIRED - ONCE PER YEAR ON LESS FREQUENTLY USED PAVEMENTS REMEDIAL ACTIONS REMEDIATE ANY LANDSCAPING WHICH, THROUGH VEGETATION MAINTENANCE OR SOIL SLIP, HAS BEEN RAISED TO WITHIN 50mmOF THE LEVEL OF THE PAVING. FREQUENCY - AS REQUIRED REMEDIAL WORK TO ANY DEPRESSIONS, RUTTING AND CRACKED OR BROKEN BLOCKS CONSIDERED DETRIMENTAL TO THE STRUCTURAL PERFORMANCE OR A HAZARD TO USERS, AND REPLACEMENT OF LOST JOINTING MATERIAL. FREQUENCY - AS REQUIRED REHABILITATION OF SURFACE AND UPPER SUBSTRUCTURE BY REMEDIAL SWEEPING. FREQUENCY - EVERY 10 TO 15 YEARS OR AS REQUIRED (IF INFILTRATION PERFORMANCE IS REDUCED DUE TO SIGNIFICANT CLOGGING) MONITORING INITIAL INSPECTION: MONTHLY FOR THREE MONTHS AFTER INSTALLATION. INSPECT FOR EVIDENCE OF POOR OPERATION AND/OR WEED GROWTH AND IF REQUIRED, TAKE REMEDIAL ACTION THREE-MONTHLY, 48 H AFTER LARGE STORMS IN FIRST SIX MONTHS: INSPECT SILT ACCUMULATION RATES AND ESTABLISH APPROPRIATE BRUSHING FREQUENCIES. MONITOR INSPECTION CHAMBERS ANNUALLY

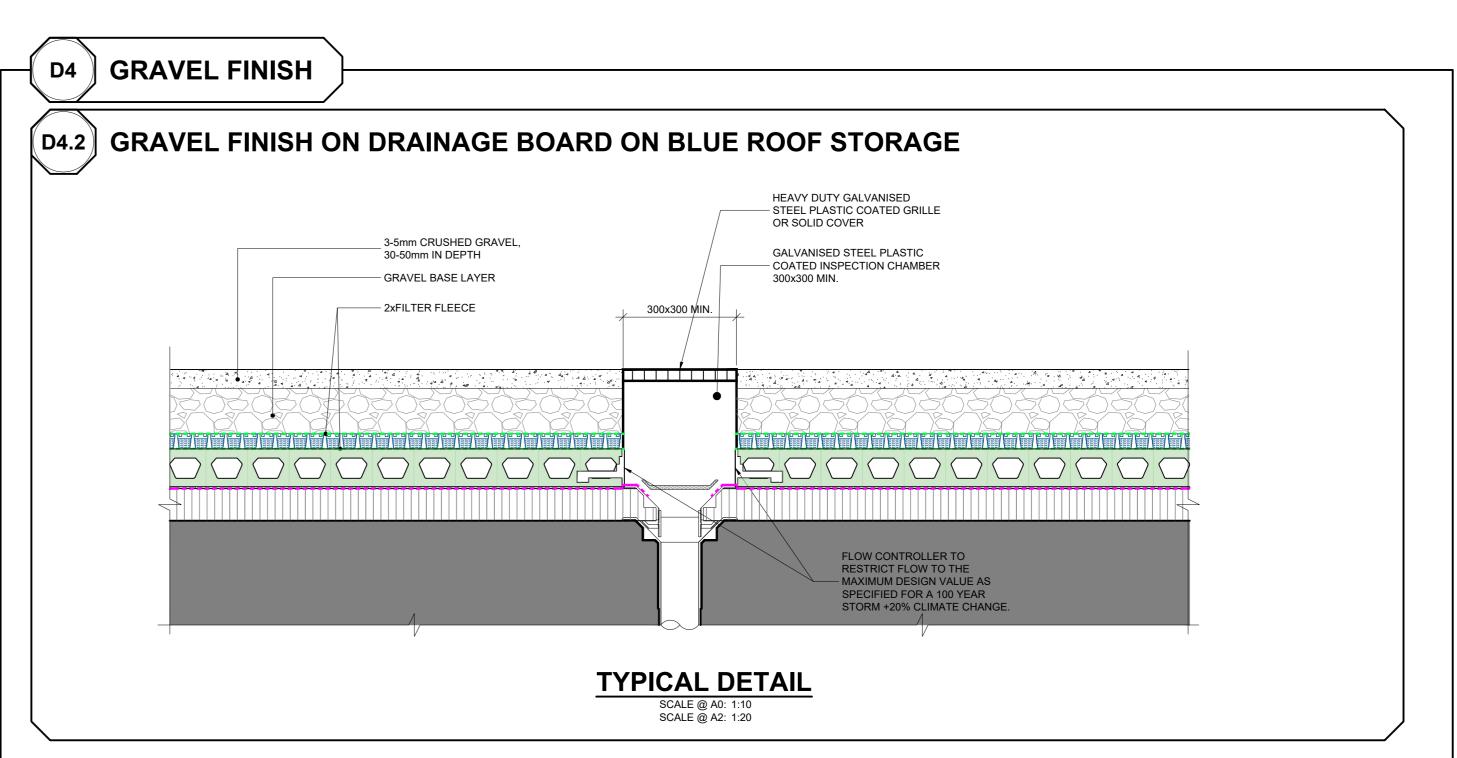
FOR PERMEABLE PAVED AREAS WITHIN 1.5m OF BUILDING FOUNDATIONS OR 1.5 METRES OF THE SITE BOUNDARY, AN IMPERMEABLE MEMBRANE STRIP 1.5m WIDE SHOULD BE PROVIDED IE. TYPE B1 OR B2 DETAILS WILL APPLY LOCALLY.

TYPICAL PERMEABLE PAVING ROOF RAINWATER PIPE INLET, APPLICABLE TO SYSTEMS 'A', 'B' & 'C.' (cx.2) TYPICAL PERMEABLE PAVING OUTLET DETAIL, APPLICABLE TO SYSTEMS 'B' & 'C.' Ø100 / Ø150 DIAMETER INLET INSPECTION CHAMBE R FROM THE -S.4 TRAP RAINWATER FILTER CHAMBER COVER NOTE: PROVIDE A 150mm FLUSH WITH PAVING LOCALISED CONCRETE **PROPRIETARY** PROTECTION SLAB OVER THE DIFFUSER BOX UNDER FILTER UNIT PARKING AREAS. PERMEABLE PAVING AS PER SYSTEM TYPE 'C' PERMEABLE DETAILS 'B1', SEALED PIPE EXIT 450x450 MINIMUM ■ PAVING AS PER 'B2', 'C1' & 'C2' — DETAILS 'A1', 'A2', 'B1', 'B2', 'C1' Ø150 OUTLET **OUTLET PIPE OFFSET DISTANCE** 'X' ABOVE THE INLET TO ACHIEVE INTERCEPTION STORAGE IN THE - PAVEMENT BUILDUP= 0.3 x A WHERE A= PERMANENT AREA GEOTEXTILE SEALED AROUND PLASTIC (ALLOWS FOR 30% VOIDS IN THE BOX TO FORM DIFFUSER. GRANULAR LAYER) ALTERNATIVELY USE A 2 METRE LENGTH OF 100Ø LAND DRAIN WITH A 150mm PEA GRAVEL SURROUND WRAPPED IN Ø150 PERFORATED RIGID DRAIN GEOTEXTILE TO ENGINEER'S SPECIFICATION. (NON-WOVEN GEOTEXTILE TO TABLE C.1 (*) (*) CLAUSE & TABLE IMPERMEABLE FLEXIBLE MEMBRANE IMPERMEABLE FLEXIBLE - Ø150 OUTLET REFERENCES REFER TO BS (*) CLAUSE & TABLE MEMBRANE IN ACCORDANCE 7533-PART 13 WITH PAVING SUPPLIERS -REFERENCES REFER TO BS RECOMMENDATIONS TO BMCE STAINLESS STEEL - WIRE MESH ACROSS NOTE: FOR PERMEABLE PAVEMENT WITH THE FILTER CHAMBER **TYPICAL SECTION** TYPICAL SECTION ATTENUATION STORAGE USE A MANHOLE WITH A HYDROBRAKE FLOW CONTROL DEVICE OR SIMILAR

PERMEABLE PAVING TYPICAL DETAILS

SOFT LANDSCAPING EXTENSIVE GREEN ROOF D1.2 SOFT LANDSCAPING - EXTENSIVE GREEN ROOF ON DRAINAGE BOARD ON BLUE ROOF STORAGE SUBTSTRATE TYPICAL STORAGE & DRAINAGE LAYER FILLED WITH MINERAL DRAINAGE MATERIAL PROVIDING INTERCEPTION STORAGE 10 I/sqm MINIMUM. HEAVY DUTY CELLULAR WATER RETENTION SPACER 60mm DEEP MIN. PROVIDING STORAGE 55l/sqm MINIMUM. PROTECTION MAT ON ROOT BARRIER ON A SEPARATION & SLIP LAYER OVER THE ROOF / PODIUM WATERPROOFING. ROOF OR PODIUM HEAVY DUTY - INSULATION TO ARCHITECT'S ROOF OR PODIUM STRUCTURE **TYPICAL DETAIL**





THIS DRAWING IS TO BE READ IN CONJUNCTION WITH ALL ENGINEERS & ARCHITECT'S DRAWINGS.FIGURED DIMENSIONS ONLY (NOT SCALING) TO BE USED. WHERE A CONFLICT OF INFORMATION EXISTS OR IF IN ANY

NOTES

CONSULTANTS TO BE INFORMED IMMEDIATELY OF ANY DISCREPANCIES BEFORE WORK PROCEEDS.

1. DETAILED DESIGN & SPECIFICATION OF **BLUE & GREEN ROOF OR PODIUM**

SYSTEMS BY THE SUPPLIER, SUBJECT TO

2. ALL MEMBRANES / SHEETS TO BE UV

STABILISED & ROT PROOF.

3. A 100Ø mm EMERGENCY PARAPET OVERFLOW PIPE SHOULD BE PROVIDED ON ALL BLUE ROOFS.

MAINTENANCE REQUIREMENTS FOR GREEN ROOFS

REGULAR INSPECTIONS. ANNUALLY AND AFTER SEVERE STORMS. **INSPECT ALL COMPONENTS INCLUDING SOIL SUBSTRATE,** VEGETATION, DRAINS, IRRIGATION SYSTEMS (IF APPLICABLE), MEMBRANES AND ROOF STRUCTURE FOR PROPER OPERATION, INTEGRITY OF WATERPROOFING AND STRUCTURAL STABILITY. INSPECT SOIL SUBSTRATE FOR EVIDENCE OF EROSION CHANNELS

INSPECT DRAIN INLETS TO ENSURE UNRESTRICTED RUNOFF FROM THE DRAINAGE LAYER TO THE CONVEYANCE OR ROOF

AND IDENTIFY ANY SEDIMENT SOURCES.

INSPECT UNDERSIDE OF ROOF FOR EVIDENCE OF LEAKAGE.

REGULAR MAINTENANCE REMOVE DEBRIS AND LITTER TO PREVENT CLOGGING OF INLET

DRAINS AND INTERFERENCE WITH PLANT GROWTH. SIX MONTHLY AND ANNUALLY OR AS REQUIRED DURING ESTABLISHMENT (I.E. YEAR ONE), REPLACE DEAD PLANTS AS REQUIRED. MONTHLY (BUT USUALLY RESPONSIBILITY OF MANUFACTURER) POST ESTABLISHMENT, REPLACE DEAD PLANTS AS REQUIRED

(WHERE > 5% OF COVERAGE). ANNUALLY (IN AUTUMN) REMOVE FALLEN LEAVES AND DEBRIS FROM DECIDUOUS PLANT FOLIAGE. SIX MONTHLY OR AS REQUIRED REMOVE NUISANCE AND INVASIVE VEGETATION, INCLUDING WEEDS SIX MONTHLY OR AS REQUIRED MOW GRASSES, PRUNE SHRUBS AND MANAGE OTHER PLANTING (IF APPROPRIATE) AS REQUIRED - CLIPPINGS SHOULD BE REMOVED AND NOT ALLOWED TO ACCUMULATE. SIX MONTHLY

IF EROSION CHANNELS ARE EVIDENT, THESE SHOULD BE STABILISED WITH EXTRA SOIL SUBSTRATE SIMILAR TO THE ORIGINAL MATERIAL, AND SOURCES OF EROSION DAMAGE

SHOULD BE IDENTIFIED AND CONTROLLED. FREQUENCY AS

IF DRAIN INLET HAS SETTLED, CRACKED OR MOVED, INVESTIGATE AND REPAIR AS APPROPRIATE. FREQUENCY AS REQUIRED.





OR AS REQUIRED



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GOLDEN PORT HOMES LIMITED

FOREST LITTLE ROAD 24.183 GOLDENPORT SUITABILITY REVISION PERMEABLE PAVING STANDARD DETAILS & HARD LANDSCAPING ON PODIUM / ROOF

AREAS STANDARD DETAILS

DRAWING REFERENCE FR-BMCE-ZZ-ZZ-DR-C-12300