

Additional Information with respect
to the development at Lands at
Forest Road, Swords, Co. Dublin

Ronan Mac Diarmada & Associates

Landscape Architects & Consultants



ADDITIONAL INFORMATION

Condition 9 of Reg Ref: LRD0057/S3E

Client: Golden Port Homes Limited

Sep 2025

For the Client: **Golden Port Homes Limited**

Dear Sir/Madam,

We wish to submit the following drawings and documents in support of an overall Additional Information submission in relation to reg ref: LRD0057/S3E

Drawings

- | | |
|---|----|
| • 1875 - REV V - DWG 01 - Landscape Masterplan - Forest Road - RMDA | A1 |
| • 1875 - REV V - DWG 02 - Boundary Plan - Forest Road - RMDA | A1 |
| • 1875 - REV V - DWG 03 - Paving Plan - Forest Road - RMDA | A1 |
| • 1875 - REV V - DWG 04 - Planting Plan - Forest Road - RMDA | A1 |
| • 1875 - REV V - DWG 04 - Combined Landscape & Lighting Plan - Forest Road - RMDA | A1 |
| • 1875 - REV V - DWG 09 - Communal Open Space - Forest Road - RMDA | A1 |
| • 1875 - REV V - DWG 10 - Features Plan - Forest Road - RMDA | A1 |
| • 1875 - REV V - DWG 11 - MUGA Plan - Forest Road - RMDA | A1 |

Documents

- | | |
|-----------------------------------|----|
| • Additional Information Document | A3 |
|-----------------------------------|----|



Ronan MacDiarmada.



Lands at Forest Road, Swords, Co. Dublin

Additional Information 1.a) and 1.c) v):

With reference to Transportation the following additional information is required in order to fully assess the proposed development:

a) The applicant is requested to address the sightliness to the South of the proposed vehicular entrance. From a site visit it was observed that the sightliness to the south are obscured by the existing hedge, and could be further obscured overtime due to future growth of the hedge. The applicant is request to provide a drawing detailing all works required to the existing hedge and any proposed replanting/boundary works. The applicant should take cognisance that the posted speed limit of the road is 60km/hr.

c) v) Submit revised layout plan showing the proposed hedging in the verge along the 'link road'/proposed new distributos road set back to ensure it does not obscure sightlines at the junctions and would not encroach into the road carriageway over time.

RMDA Response 1.a) and 1.c) v):

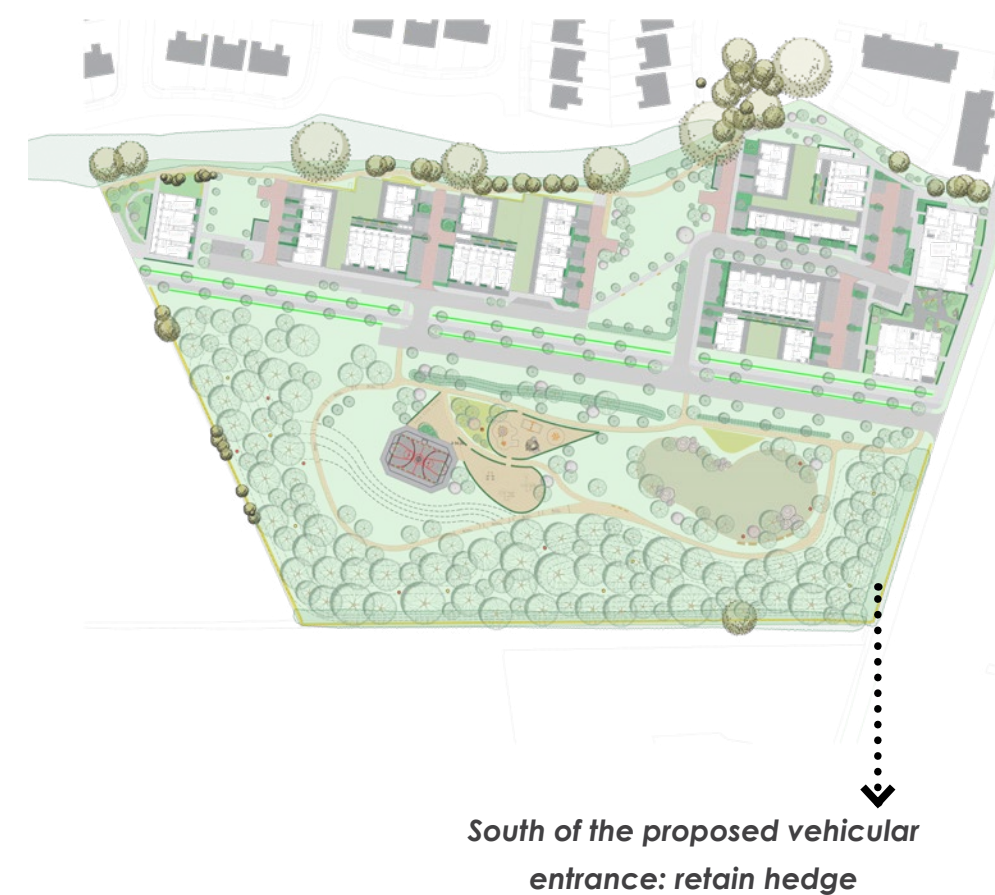
The hedge has been removed from the proposed layout in order to prevent any obstruction to sightliness.

Further details, including scaled drawings, are provided in drawing:

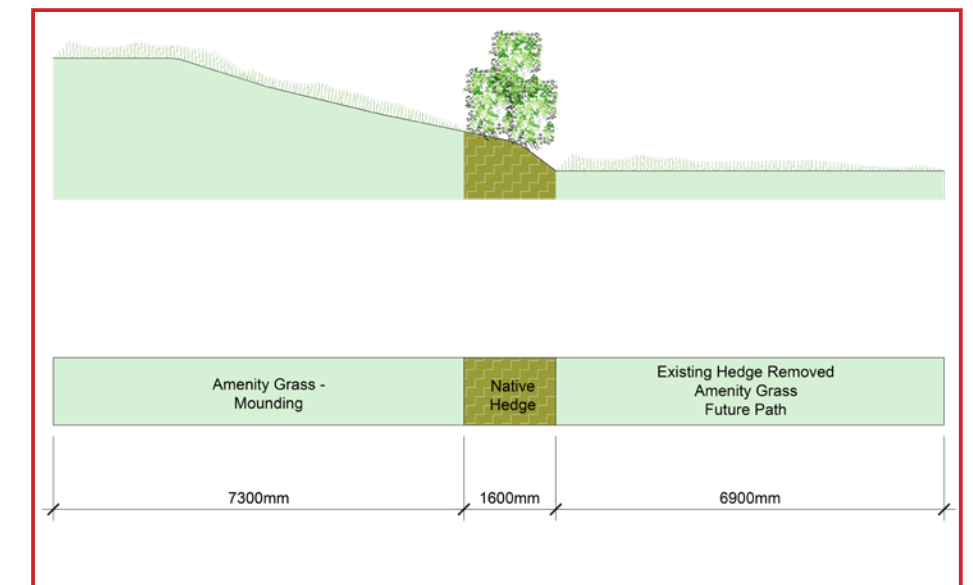
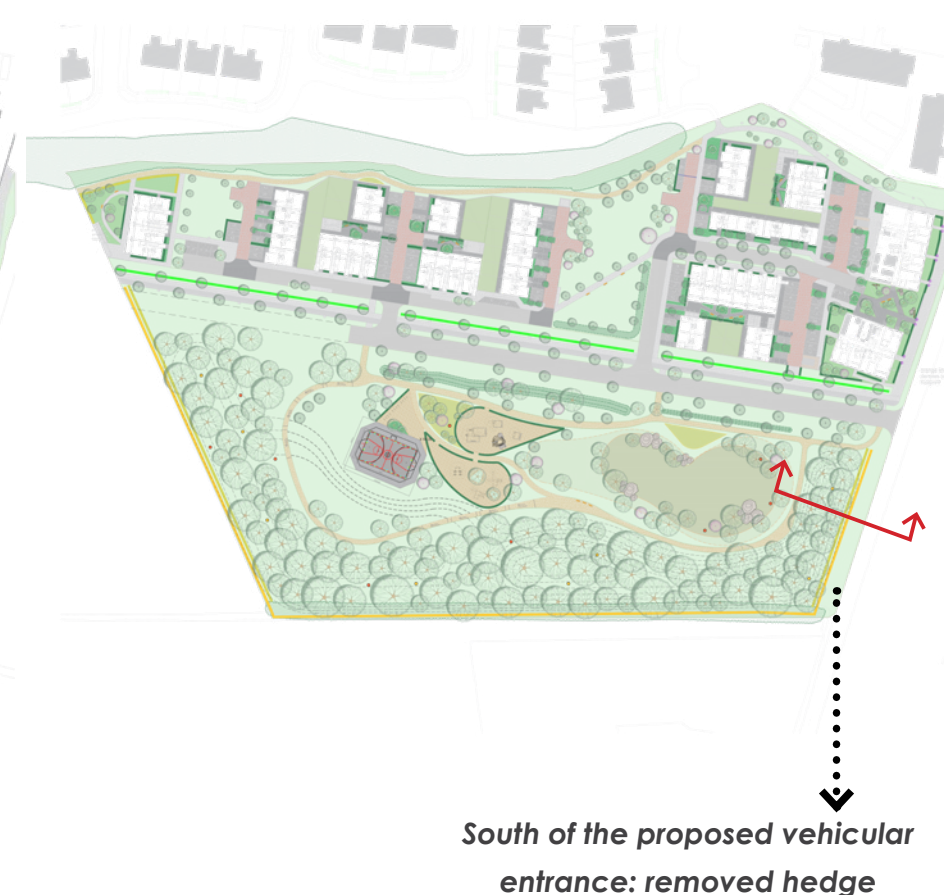
1875 - REV V - DWG 01 - Landscape Master Plan - Forest Road - RMDA

1875 - REV V - DWG 04 - Planting Plan - Forest Road - RMDA

Original layout - REV O



New layout - REV S



Lands at Forest Road, Swords, Co. Dublin

Additional Information 1.d):

d) A revised layout plan which illustrates a 'road reservation corridor' between the end of the proposed new distributor road and the western site boundary. This area to be maintained as grass with no tree or other planting on it.

RMDA Response 1.d):

The hedge has been omitted from the proposed layout in order to prevent any obstruction to sightlines at the junction.

Further details, including scaled drawings, are provided in drawing:

1875 - REV V - DWG 01 - Landscape Master Plan - Forest Road - RMDA

1875 - REV V - DWG 04 - Planting Plan - Forest Road - RMDA

Original layout - REV O



Proposed Tree Planting Proposed

New layout - REV S



Road Reservation Corridor to be
maintain as grass with no tree or other
planting



Additional Information 5:

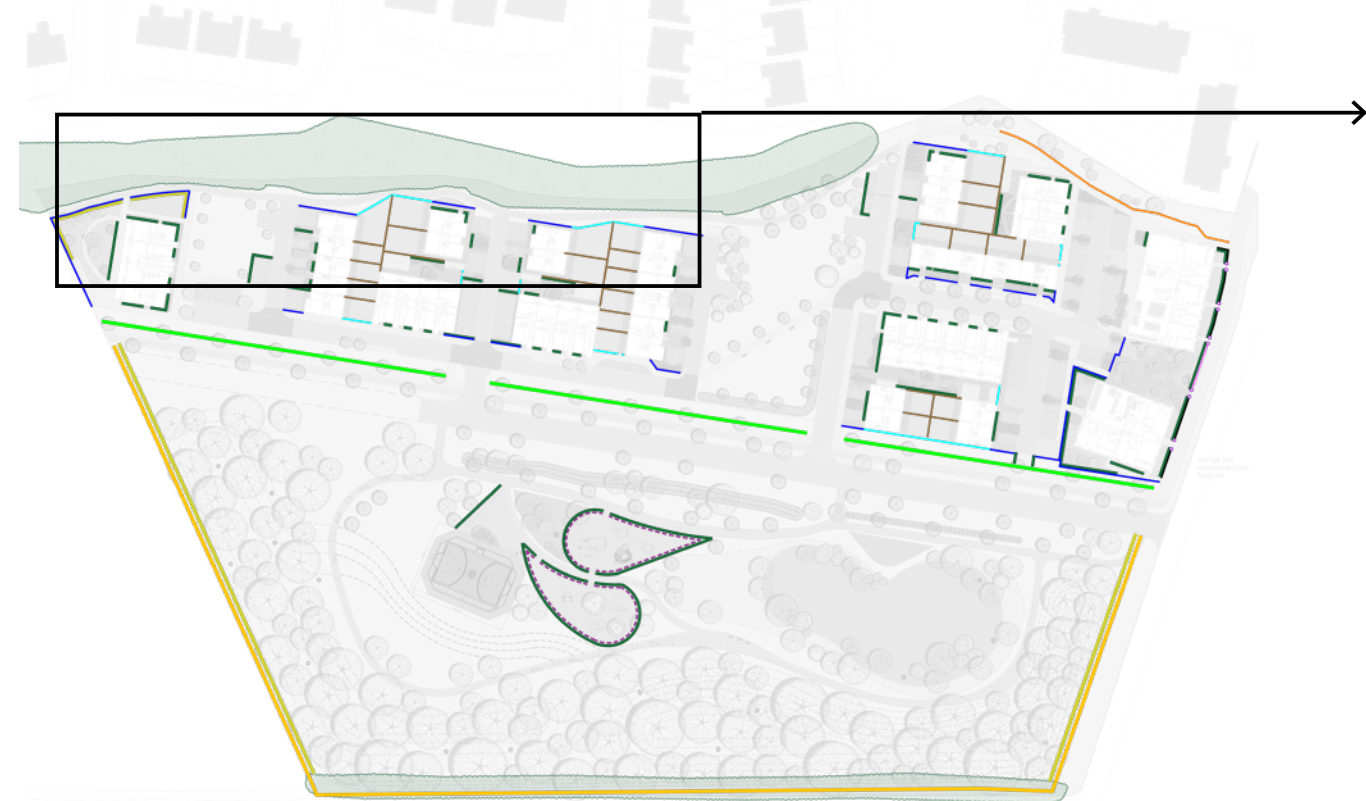
The applicant is request to submit revised proposals for the development layout to provide for increase surveillance of Open Space to the north. The dominance of rear garden boundaries along the northern edge limits passive surveillance of Open Space to the north. The dominance of rear garden boundaries along the northern edge limits passive surveillance, increasing vulnerability, and stepped rear garden will create unsupervised spaces, increasing vulnerability to anti-social behaviour, and the rear gardens themselves may also become targets due to their exposure

RMDA Response 5:

Passive surveillance to the north has been enhanced by replacing the previously proposed 2 m high walls with 1.2 m high railings. In addition, the boundary walls have been realigned to eliminate stepped areas, thereby removing potential hiding spaces.

Further details, including scaled drawings, are provided in drawing:
1875 - REV V - DWG 02 - Boundary Plan - Forest Road - RMDA

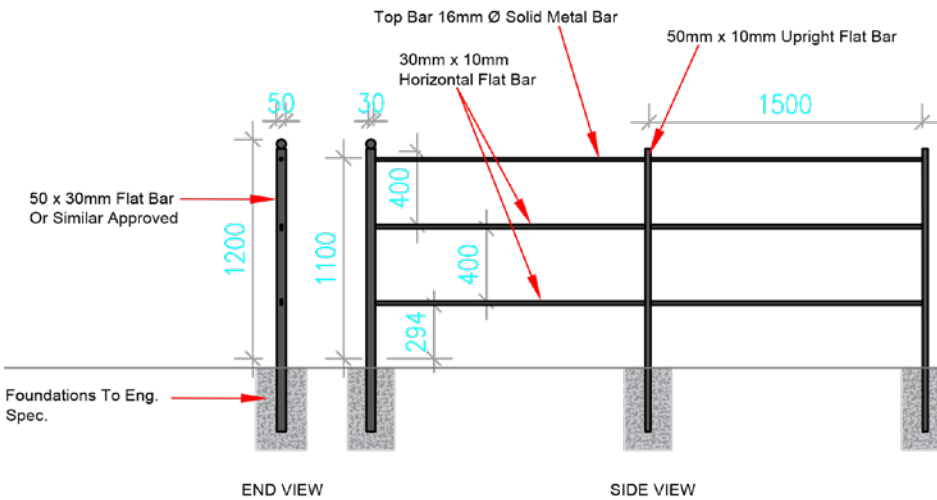
Boundary Plan



Increase of surveillance of Open Space



B3 1.2m High Mild Steel (3 bar) Railing Galvanised & Painted With C3 coating
Scale 1:50



- BOUNDARY TREATMENTS**

Boundary Treatment 1
1.8m high Timber Panel and Concrete Post Fence or similar approved

Boundary Treatment 2
2m High Residential Boundary Wall: Brick Facing Road & Rendered Blockwork Facing North, with Concrete Capping or similar approved

Boundary Treatment 3
1.2m high Parkland Railing or similar approved
- Boundary Treatment 4**
2.0m high Stone Wall (Acoustic Barrier) or similar approved

Boundary Treatment 5
1.2 high Anti-trap Bow Top Fencing

Boundary Treatment 6
1.2 high Mesh Fence

Boundary Treatment 7
600mm high Wall with 1400mm high Railing (2m Total high) or similar approved

Boundary Treatment 8
Existing Wall Retain



Lands at Forest Road, Swords, Co. Dublin

Additional Information 7:

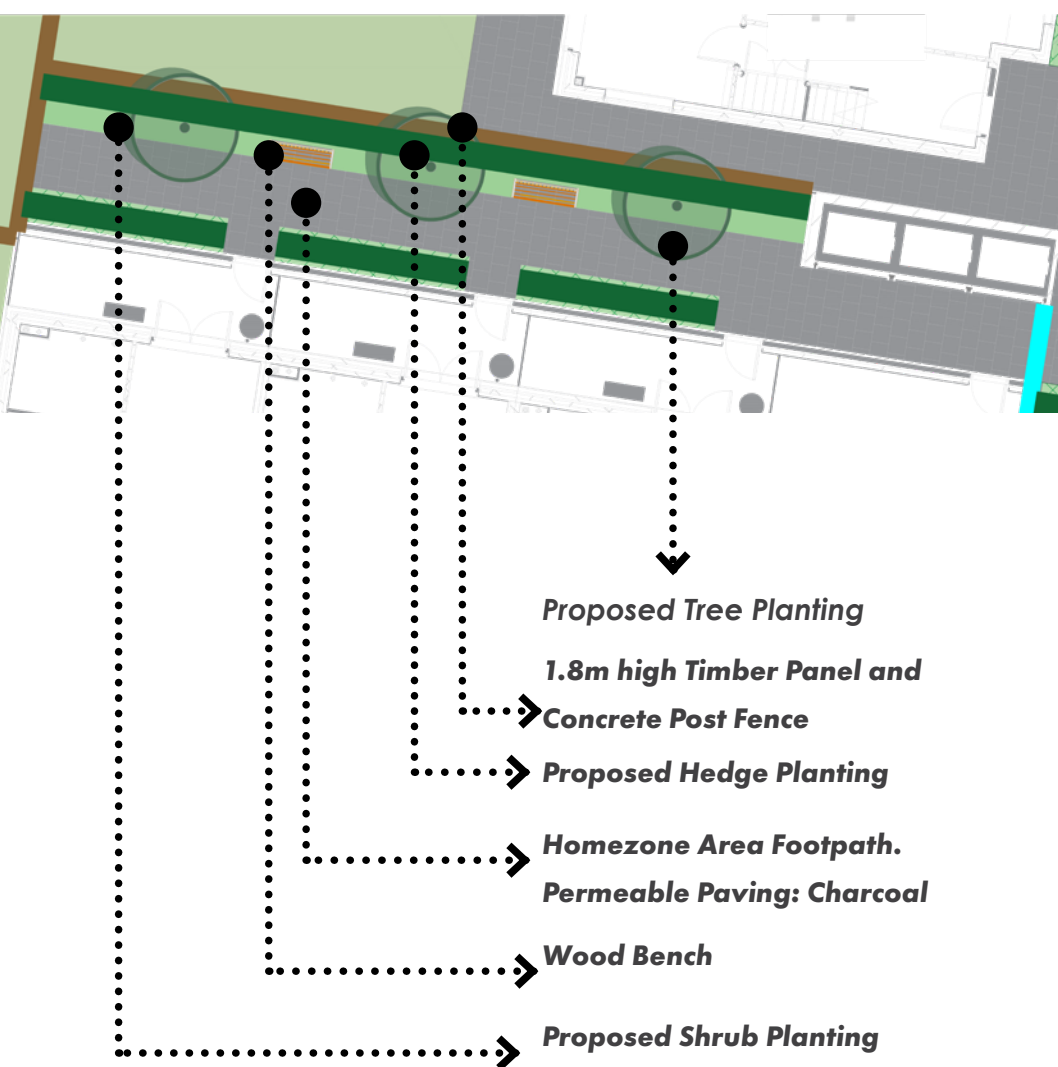
Based on the 'Daylight and Sunlight Assessment Report' submitted, the communal open spaces serving duplex units in zones B, C and D would not achieve compliance with BRE Guidelines in respect of sunlight. Furthermore, having regard to the layout and dimension of these spaces and the spaces in Zone A and serving Block B, the Planning Authority is not satisfied that a satisfactory standard of residential amenity would be afforded to future residents. The applicant is requested to submit a revised layout to address this.

RMDA Response 7 (i):

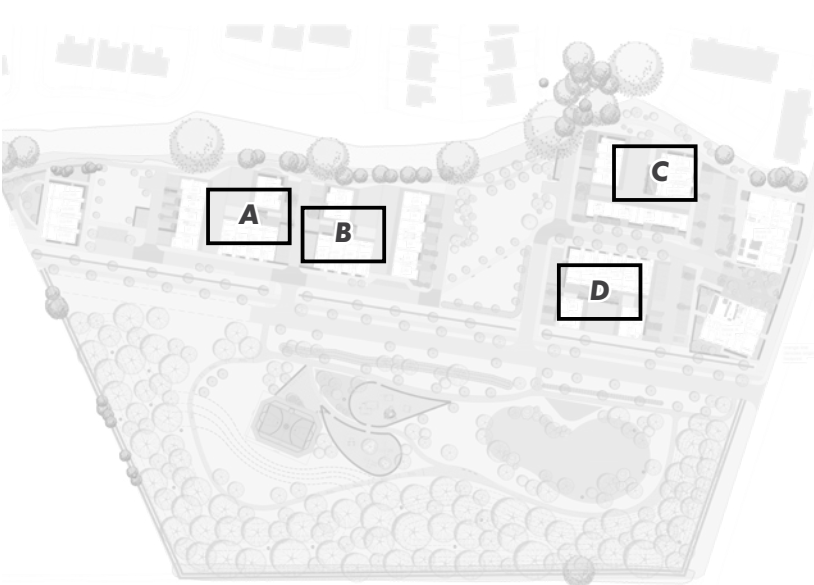
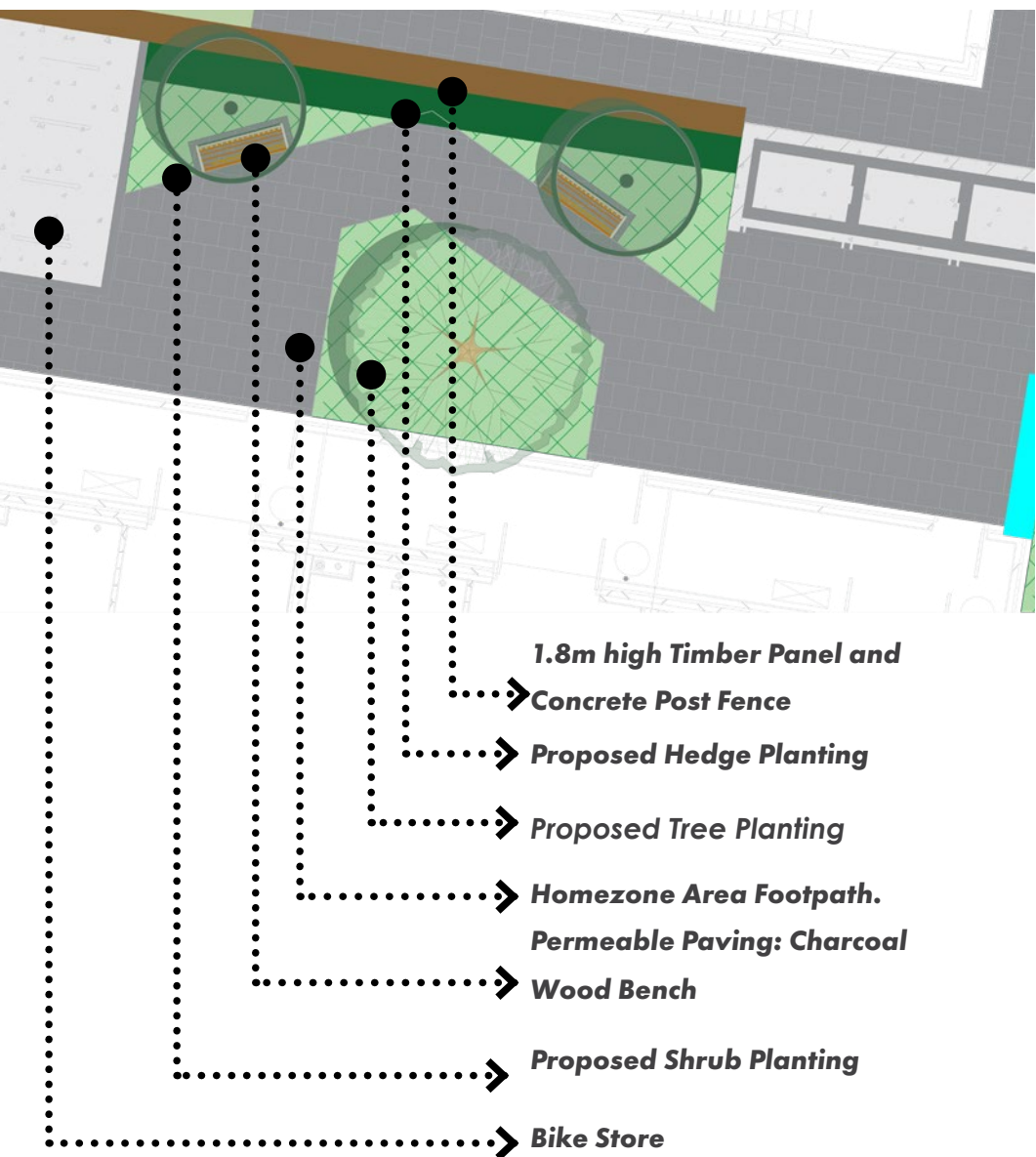
The communal open spaces in Zones A, B, C, and D, as referenced in the Daylight and Sunlight Assessment Report, have been reviewed and subsequently modified through revised landscape design in order to address the concerns raised and to enhance the overall residential amenity for future occupants. Please find enclosed at this stage a diagram in this regard.

Further details, including scaled drawings, are provided in drawing:
1875 - REV V - DWG 09 - Community Open Space - Forest Road - RMDA

Area A - Original layout - REV O



Area A - New layout - REV V



Additional Information 7:

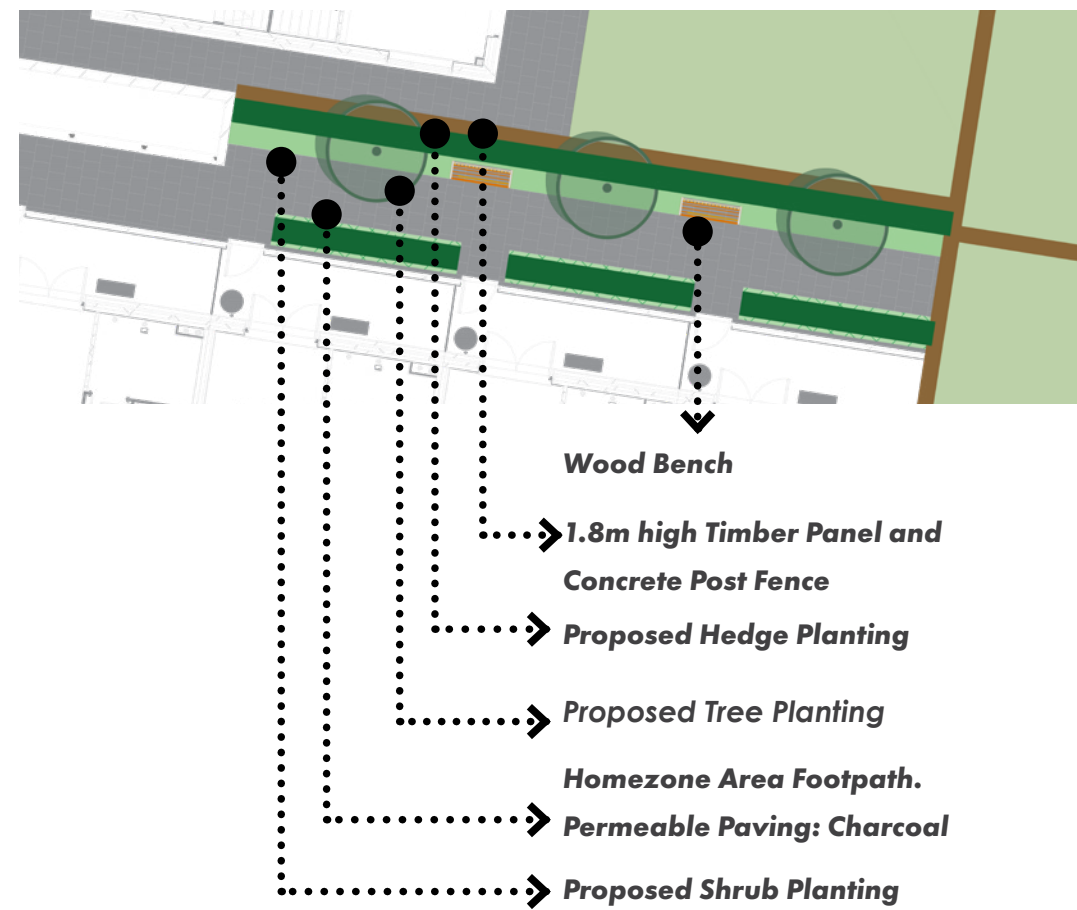
Based on the 'Daylight and Sunlight Assessment Report' submitted, the communal open spaces serving duplex units in zones B, C and D would not achieve compliance with BRE Guidelines in respect of sunlight. Furthermore, having regard to the layout and dimension of these spaces and the spaces in Zone A and serving Block B, the Planning Authority is not satisfied that a satisfactory standard of residential amenity would be afforded to future residents. The applicant is requested to submit a revised layout to address this.

RMDA Response 7 (i) cont.:

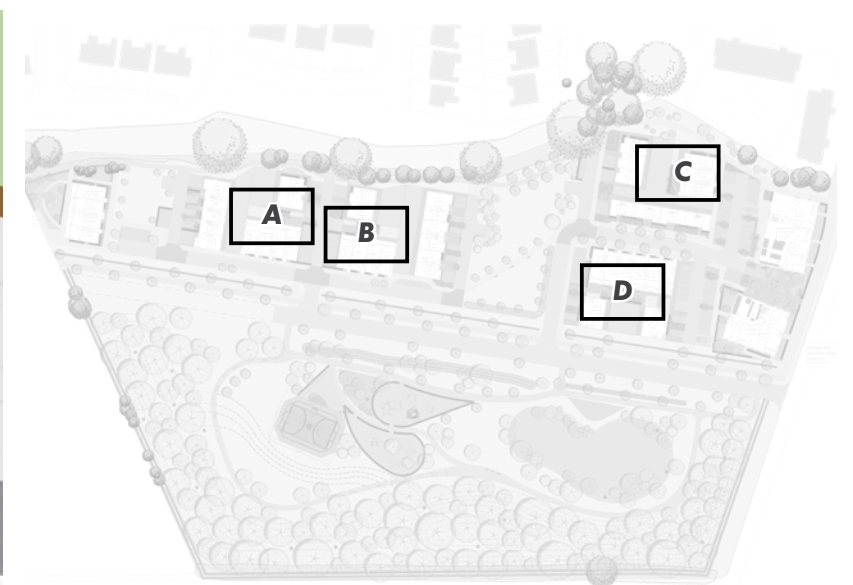
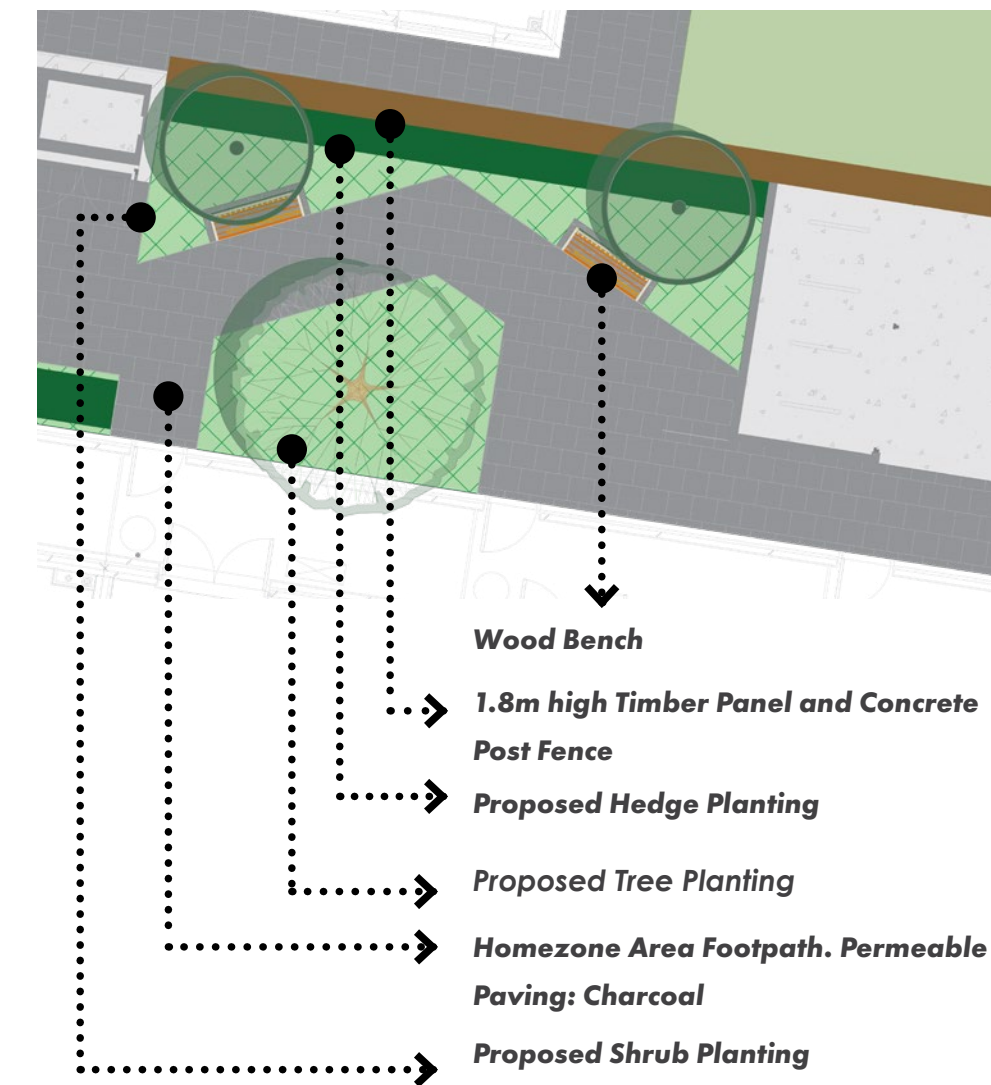
The communal open spaces in Zones A, B, C, and D, as referenced in the Daylight and Sunlight Assessment Report, have been reviewed and subsequently modified through revised landscape design in order to address the concerns raised and to enhance the overall residential amenity for future occupants. Please find enclosed at this stage a diagram in this regard.

Further details, including scaled drawings, are provided in drawing:
1875 - REV V - DWG 09 - Community Open Space - Forest Road - RMDA

Area B - Original layout - REV O



Area B - New layout - REV V



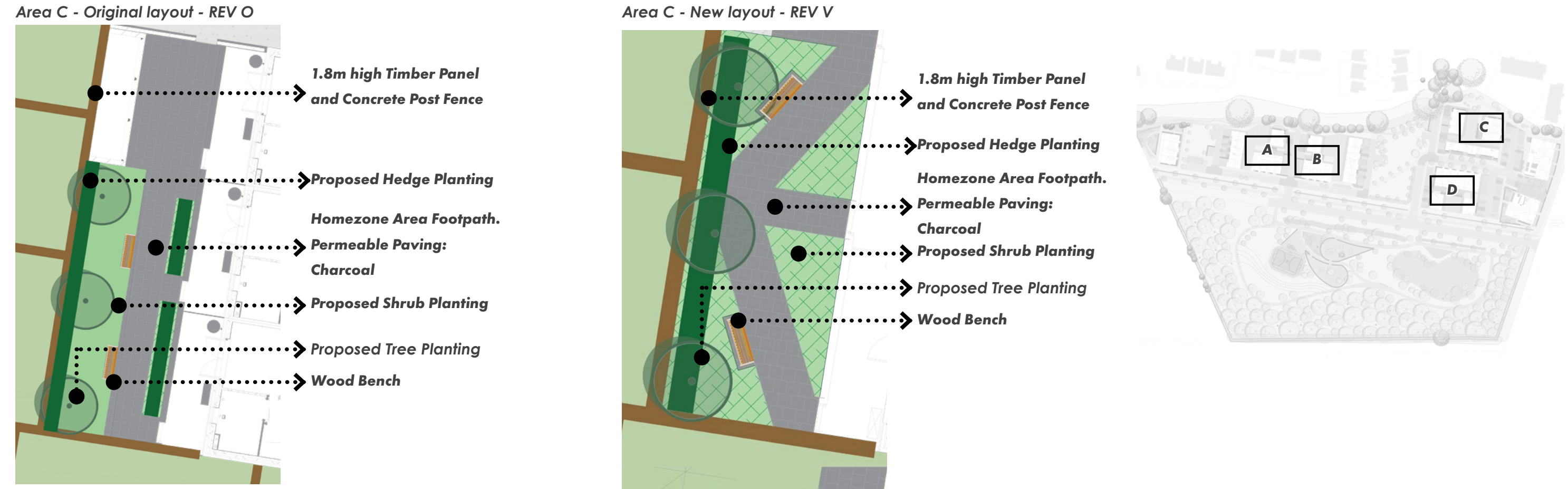
Additional Information 7:

Based on the 'Daylight and Sunlight Assessment Report' submitted, the communal open spaces serving duplex units in zones B, C and D would not achieve compliance with BRE Guidelines in respect of sunlight. Furthermore, having regard to the layout and dimension of these spaces and the spaces in Zone A and serving Block B, the Planning Authority is not satisfied that a satisfactory standard of residential amenity would be afforded to future residents. The applicant is requested to submit a revised layout to address this.

RMDA Response 7 (i) cont.:

The communal open spaces in Zones A, B, C, and D, as referenced in the Daylight and Sunlight Assessment Report, have been reviewed and subsequently modified through revised landscape design in order to address the concerns raised and to enhance the overall residential amenity for future occupants. Please find enclosed at this stage a diagram in this regard.

Further details, including scaled drawings, are provided in drawing:
1875 - REV V - DWG 09 - Community Open Space - Forest Road - RMDA



Additional Information 7:

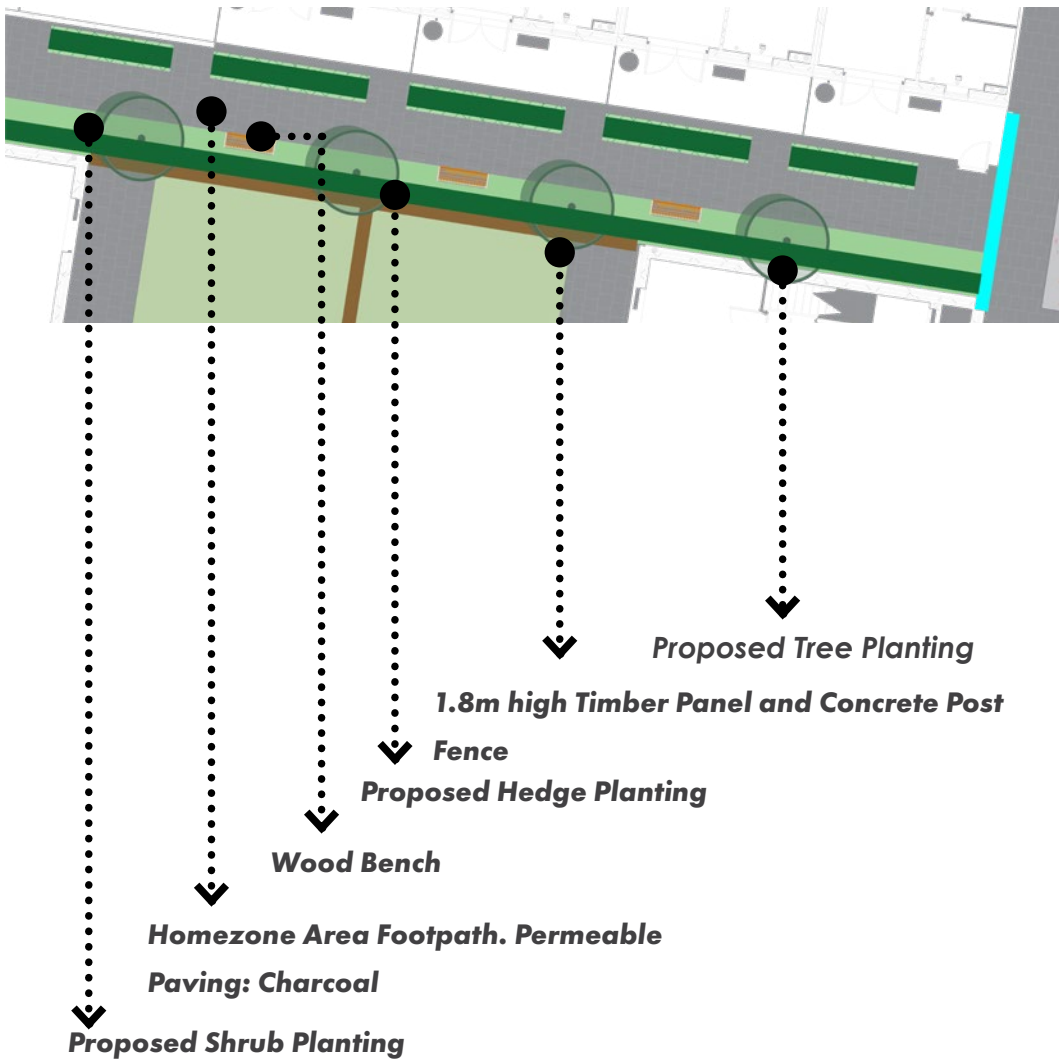
Based on the 'Daylight and Sunlight Assessment Report' submitted, the communal open spaces serving duplex units in zones B, C and D would not achieve compliance with BRE Guidelines in respect of sunlight. Furthermore, having regard to the layout and dimension of these spaces and the spaces in Zone A and serving Block B, the Planning Authority is not satisfied that a satisfactory standard of residential amenity would be afforded to future residents. The applicant is requested to submit a revised layout to address this.

RMDA Response 7 (i) cont.:

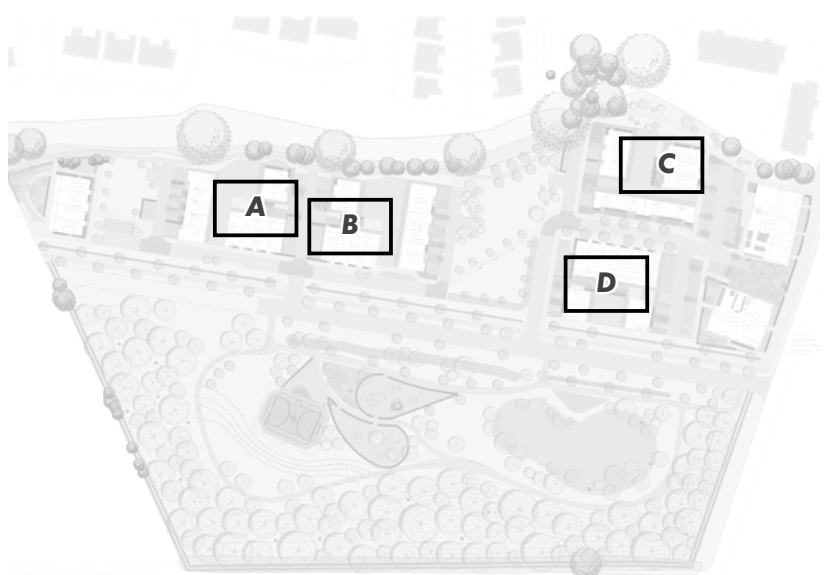
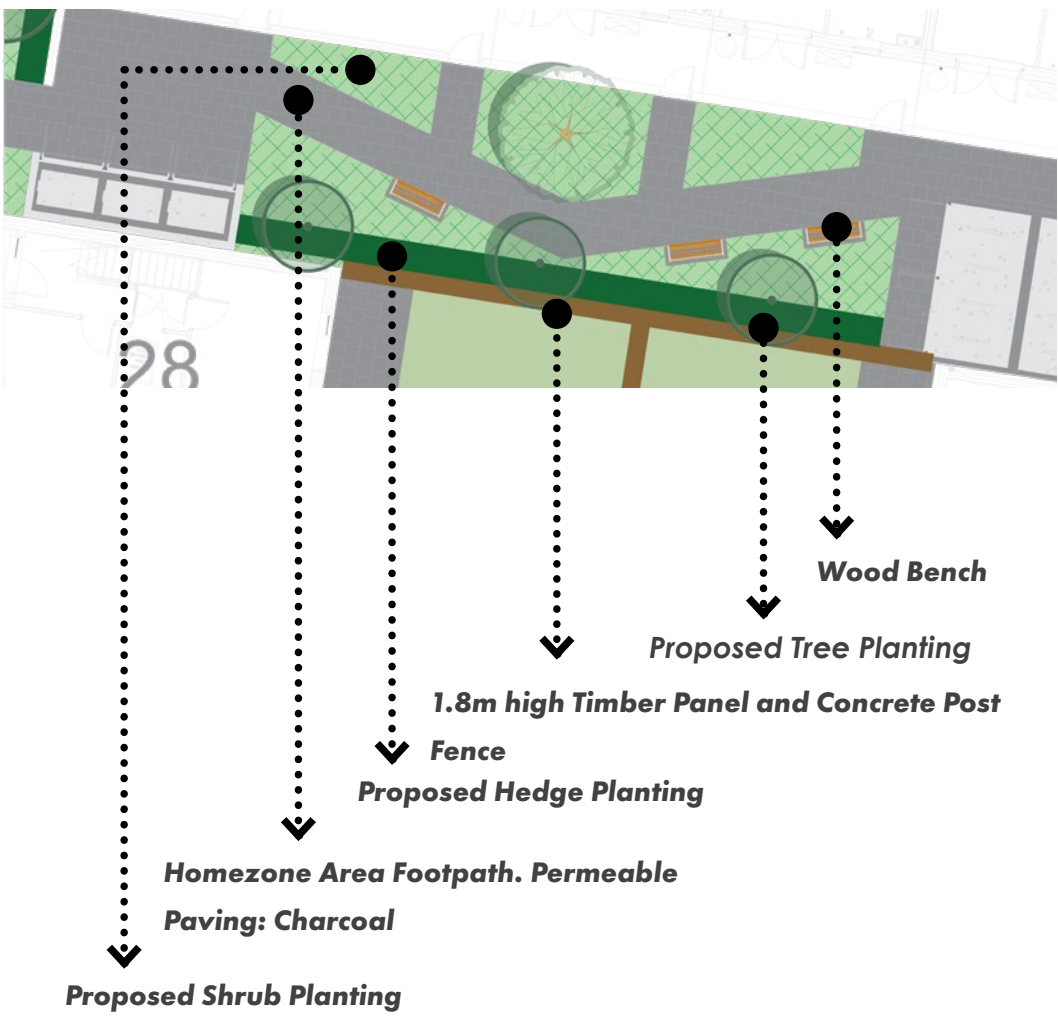
The communal open spaces in Zones A, B, C, and D, as referenced in the Daylight and Sunlight Assessment Report, have been reviewed and subsequently modified through revised landscape design in order to address the concerns raised and to enhance the overall residential amenity for future occupants. Please find enclosed at this stage a diagram in this regard.

Further details, including scaled drawings, are provided in drawing:
1875 - REV V - DWG 09 - Community Open Space - Forest Road - RMDA

Area D - Original layout - REV O



Area D - New layout - REV V



Lands at Forest Road, Swords, Co. Dublin

Additional Information 9:

The applicant shall submit a revised Landscape Plan which shall include the following:

a) Details of play facilities including boundary treatment, surfacing and signage.

RMDA Response 9.a) (i):

Please find here the detailed layout of the play area, including boundary treatment, surfacing and signage.

Further details, including scaled drawings, are provided in drawing:

1875 - REV R - DWG 10 - Features Plan - Forest Road - RMDA

Swing Ega Natural - HAGS
Ref: 8038416
Number of users: 2
Age Range: 3+



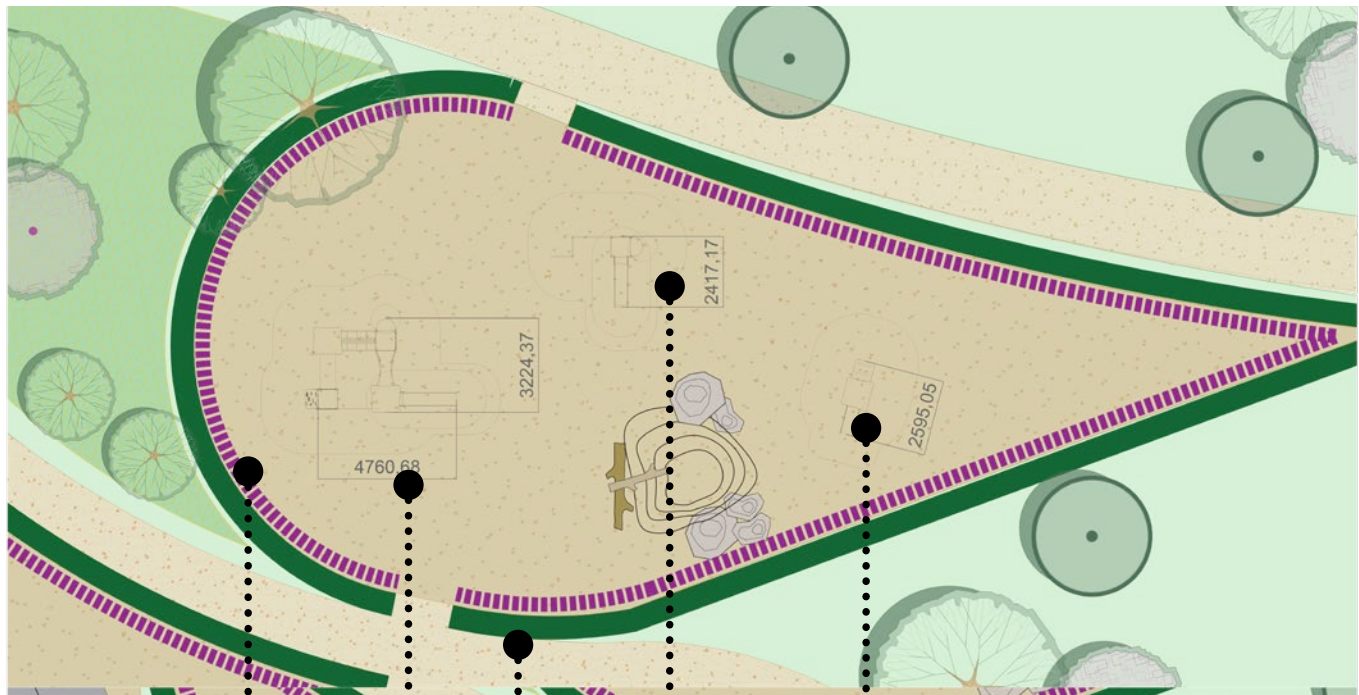
Riara Natural - HAGS
Ref: 8038418
Age Range: 3-12



Kimalia - HAGS
Ref: 8045587
Age Range: 5-12



Play Area



Soft Play Area:
Wet Pour or
similar approved

UniMini Essentials Aoede

UniMini Essentials Callisto

Structural Hedgerow
Elaeagnus x ebbingei

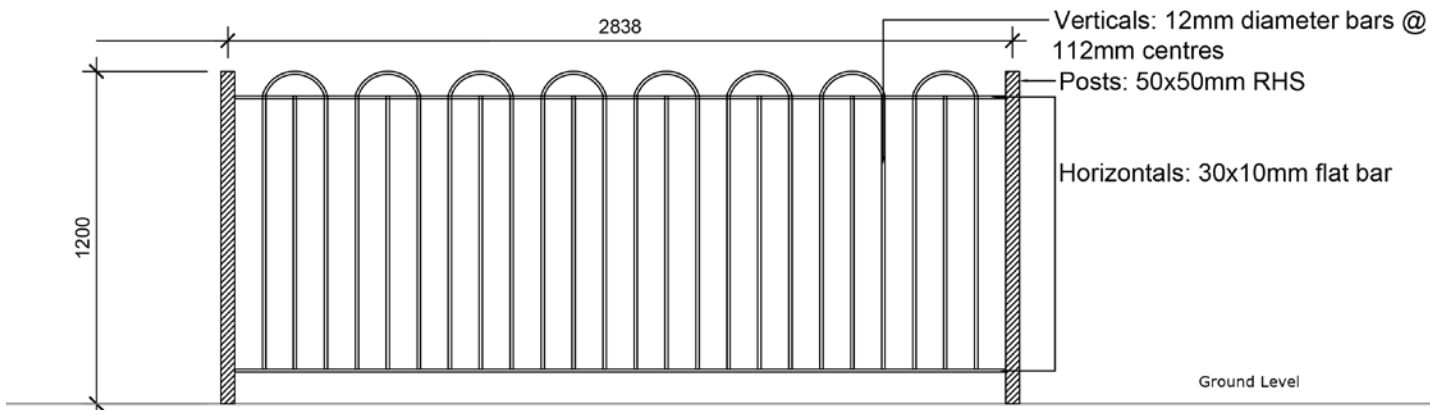
UniMini Essentials Io



Boundary Treatment 5
1.2 high Anti-trap Bow Top Fencing



Structural Hedgerow
450mm topsoil dept/100cm Single Staggered Row
Species Name
Elaeagnus x ebbingei



Lands at Forest Road, Swords, Co. Dublin

Additional Information 9:

The applicant shall submit a revised Landscape Plan which shall include the following:

- a) Details of play facilities including boundary treatment, surfacing and signage.

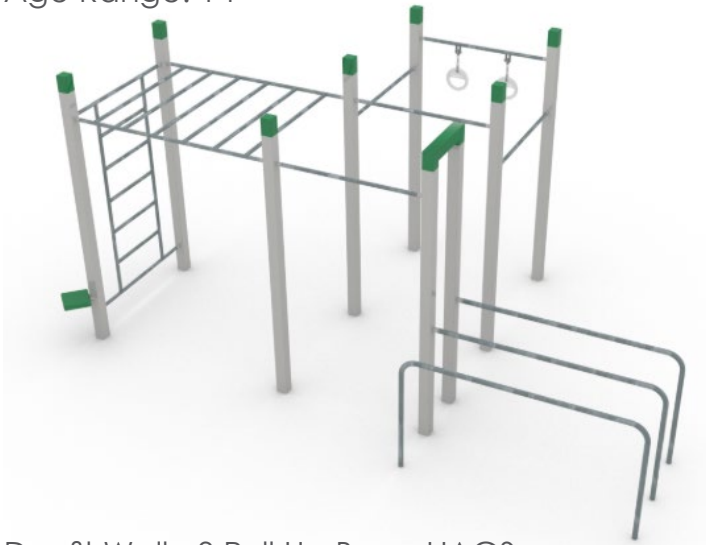
RMDA Response 9.a) (ii):

Please find here the detailed layout of the play area, including boundary treatment, surfacing and signage.

Further details, including scaled drawings, are provided in drawing:

1875 - REV V - DWG 10 - Features Plan - Forest Road - RMDA

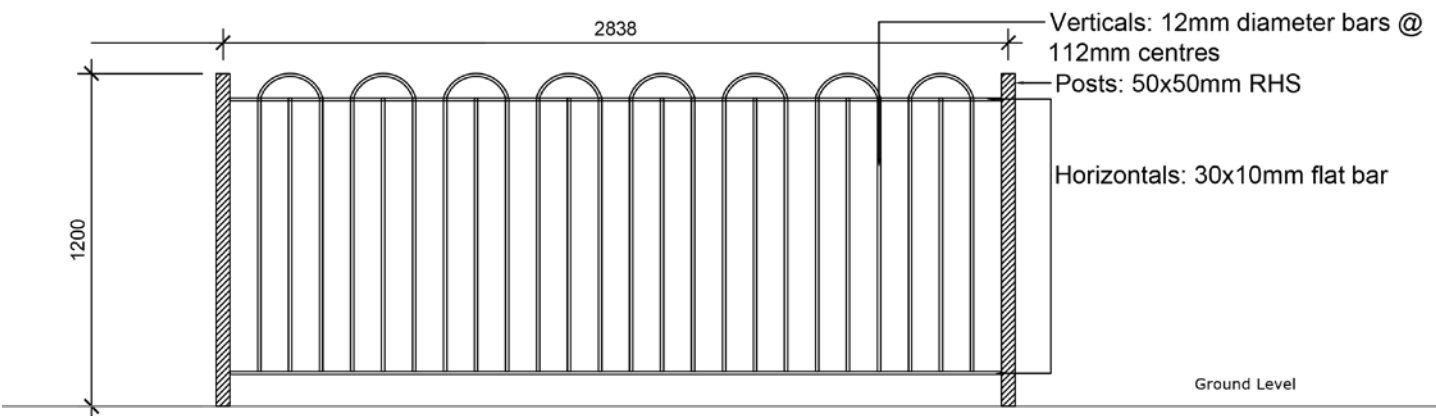
Denfit Bootcamp Special - HAGS
Ref: 8074888
Age Range: 14+



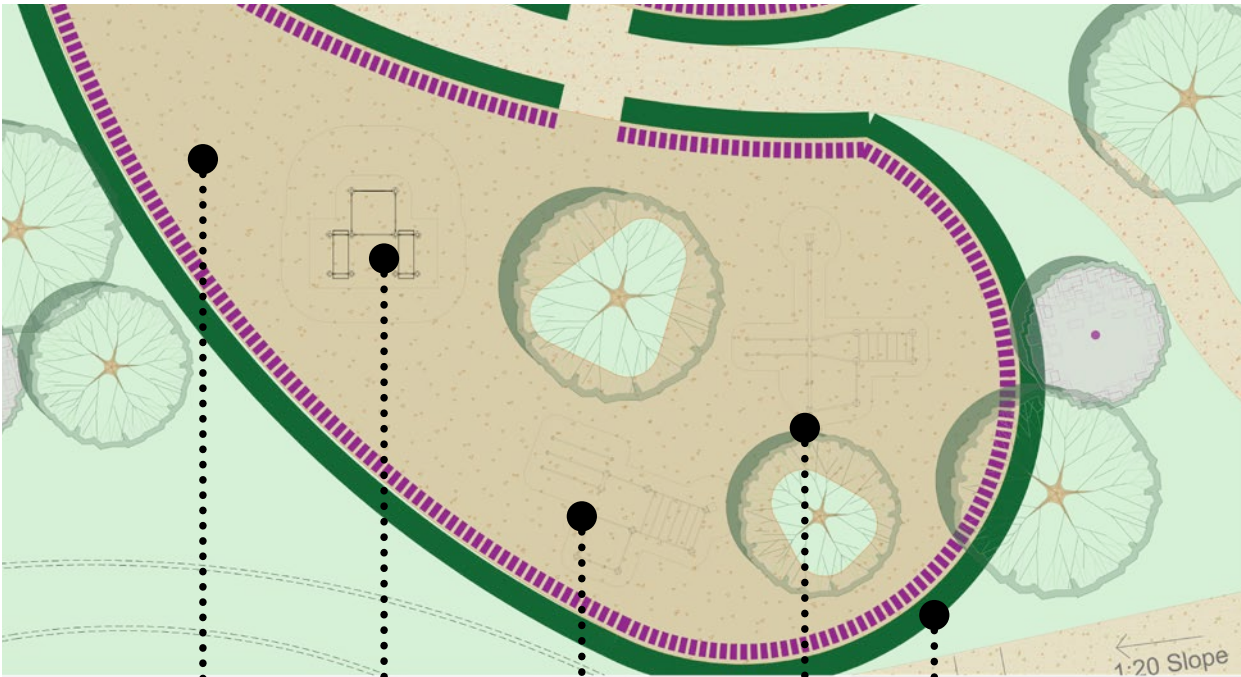
Denfit Crosstraining 1 - HAGS
Ref: 8101999
Age Range: All Ages



Denfit Wall - 3 Pull Up Bars - HAGS
Ref: 8065161
Age Range: All Ages



Play Area



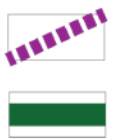
Soft Play Area:
Wet Pour or similar
approved

Structural Hedgerow
Elaeagnus x ebbingei

Denfit Crosstraining 1

Denfit Bootcamp Special

Denfit Wall - 3 Pull Up Bars



Boundary Treatment 5
1.2 high Anti-trap Bow Top Fencing

Structural Hedgerow
450mm topsoil dept/100cm Single Staggered Row
Species Name
Elaeagnus x ebbingei



Lands at Forest Road, Swords, Co. Dublin

Additional Information 9:

The applicant shall submit a revised Landscape Plan which shall include the following:

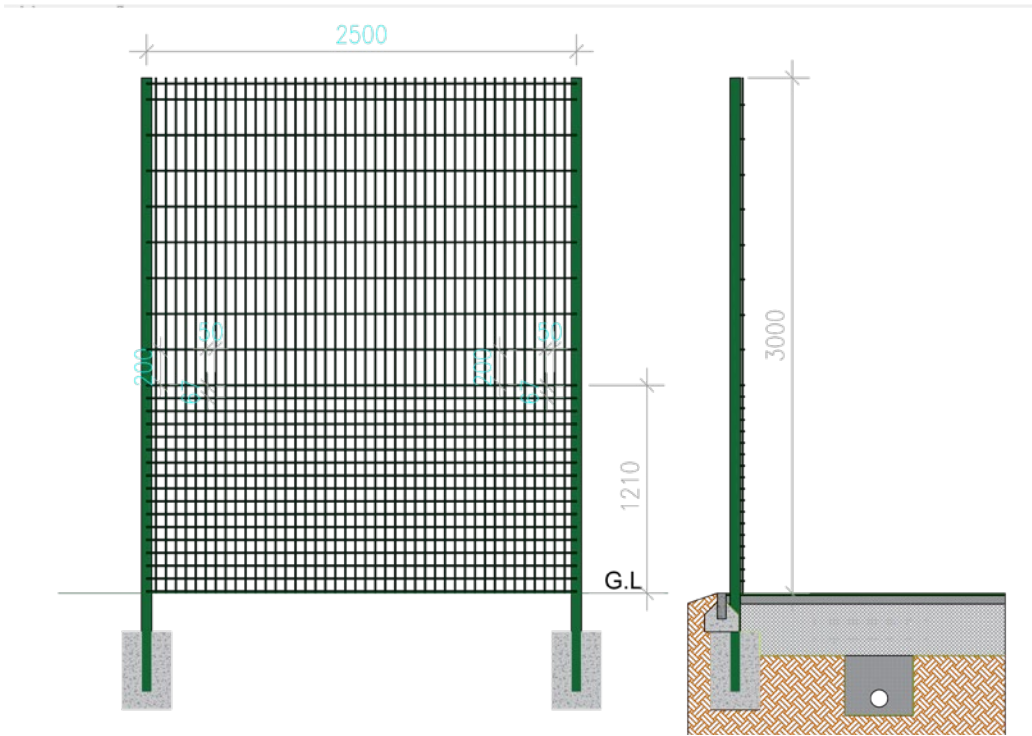
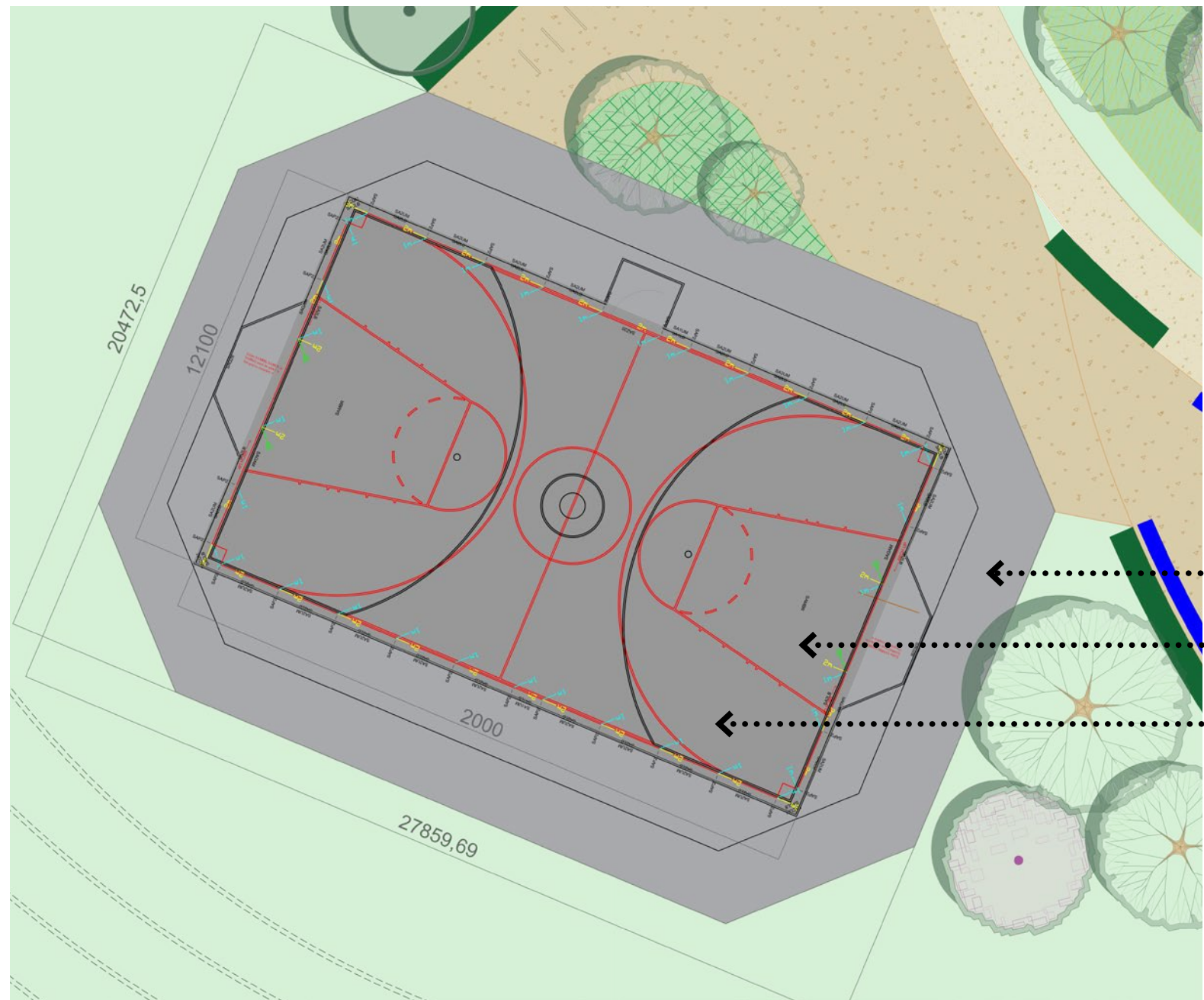
a) Details of play facilities including boundary treatment, surfacing and signage.

RMDA Response 9.a) (iii):

Please find here the detailed layout of the play area, including boundary treatment, surfacing and signage.

Further details, including scaled drawings, are provided in drawing:

1875 - REV V - DWG 11 - MUGA Plan - Forest Road - RMDA



System Fence (Green)
Post: 60x60mm RHS at 2.5m centres, panel fixed to posts with 25 x 25mm slotted clamp bar using NK M8 tamper-resistant bolt and threaded nuts.
Mesh Aperture: 200 x 50mm, 67 x 50mm.
Wire Diameter: 6mm horizontal, 5mm vertical.

Muga: Hags - Arena Chicago (20 x 12M)
Overall Dim 24360mm x 12100mm
With Tarmac Surface or Similar Approved
To be surrounded by a Tarmac Pathway
As To Allow Access.

Path - Tarmacadam or similar Approved

Hags - Arena Chicago (Type 2 Muga)
24,360mm x 12,100mm Play Area

Play Surface: Tarmacadam

Please Note: HAGS SMP equipment must be maintained in accordance with HAGS SMP maintenance and inspection schedules. A fully detailed specification schedule is available from their technical team.



Lands at Forest Road, Swords, Co. Dublin

Additional Information 9:

The applicant shall submit a revised Landscape Plan which shall include the following:

b) The proposed Beech hedge on either side of the main entrance road is not practical for future maintenance by Fingal County Council Operations Division and should be omitted, along with the proposed bee hives at the edge of the detention basin.

RMDA Response 9.b):

We have updated our landscape plan and omitted the proposed Beech hedge on either side of the main entrance road, along with the proposed bee hives at the edge of the detention basin.

Further details, including scaled drawings, are provided in drawing:

1875 - REV V - DWG 01 - Landscape Masterplan - Forest Road - RMDA

Original layout - REV O



New layout - REV P



Additional Information 9:

The applicant shall submit a revised Landscape Plan which shall include the following:

- c) Revised planting plan- Due to the strengthened restrictions of importing Oak trees (S.I.30 of 2020), any proposed Quercus species with a girth size greater than 8cm shall comply with S.I.30 of 2020 or be substituted for a suitable tree.
- d) Tree planting in the south of the site shall contain smaller trees to help establishment. For Example: 15% Betula pubescens, b/r, 120-150cm tall; 15% Corylus avellana, b/r, 120-150cm tall, 10% Pinus sylvestris, Salix cinerea, b/r, 120-150cm tall; r/b, 90-120cm tall; 10% Ilex aquifolium, r/b, 1.0m tall; 20% Sorbus aucuparia, b/r, 120-150cm tall

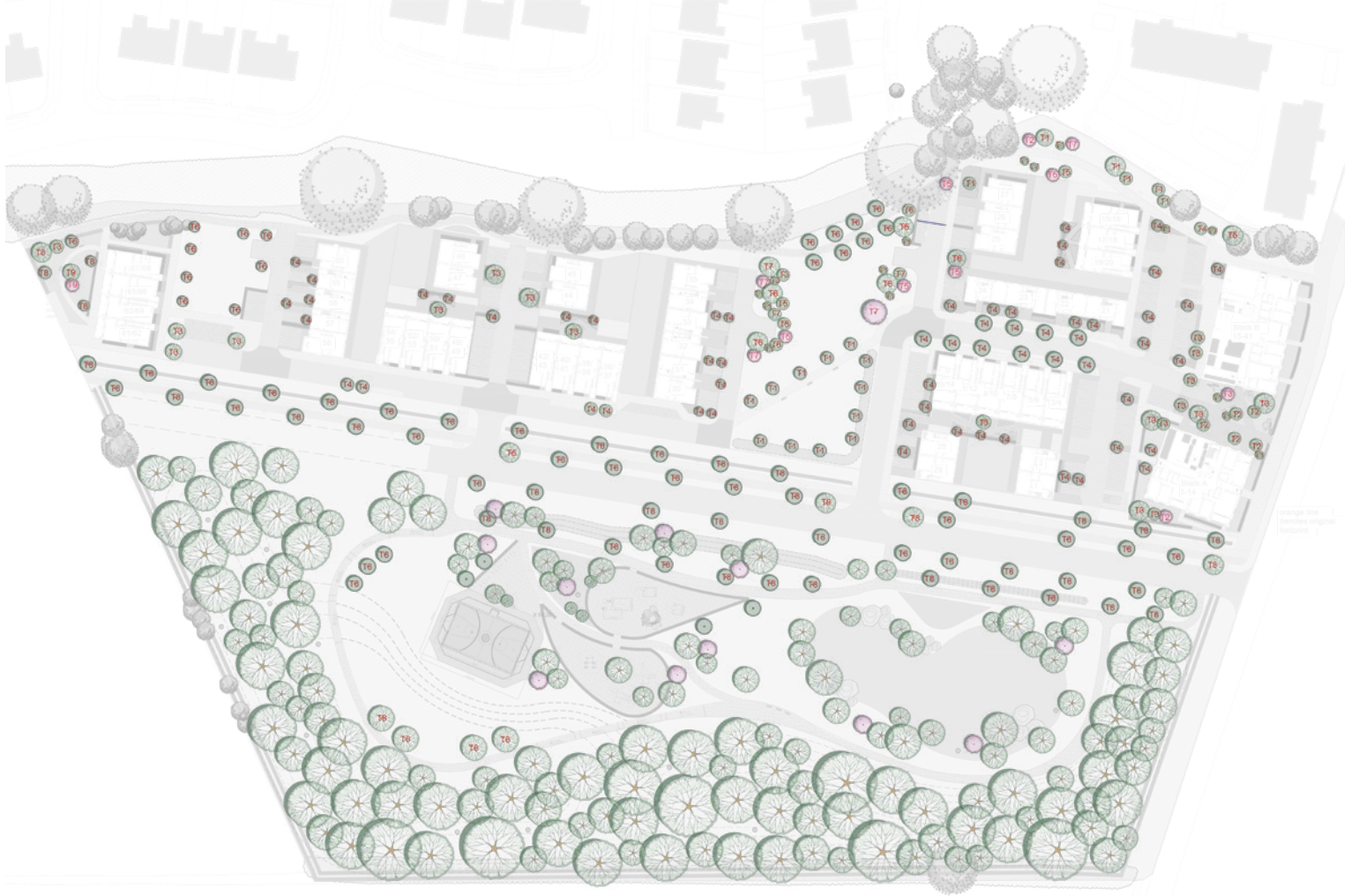
RMDA Response 9.c) and 9.d):

- c) We will comply with the strengthened restrictions under S.I. 30 of 2020 regarding the importation of Oak trees. Any proposed Quercus species with a girth size greater than 8cm will either comply with S.I. 30 of 2020 or be substituted with a suitable alternative species.
- d) The tree planting within the public open space located to the south of the site has been re-evaluated and replaced with the following mix: 15% Betula pubescens, b/r, 120-150cm tall; 15% Corylus avellana, b/r, 120-150cm tall; 10% Pinus sylvestris, b/r, 120-150cm tall; 10% Salix cinerea, r/b, 90-120cm tall; 10% Ilex aquifolium, r/b, 1.0m tall; and 20% Sorbus aucuparia, b/r, 120-150cm tall.

Further details, including scaled drawings, are provided in drawing:

1875 - REV V - DWG 04 - Planting Plan - Forest Road - RMDA

Landscape Masterplan



Proposed Tree List

Name	Size
T1 Alnus Glutinosa	16-18cm girth
T2 Amelanchier grandiflora	200cm height
T3 Betula pendula	16-18cm girth
T4 Carpinus betulus 'Fastigiata'	16-18cm girth
T5 Pinus sylvestris	200cm height
T6 Prunus avium 'Plena'	14-16cm girth
T7 Quercus robur	16-18cm girth
T8 Tilia cordata	16-18cm girth

Public Open Space Trees Mix - Site South Area

15%	Betula pubescens	120-150cm tall
15%	Corylus avellana	120-150cm tall
10%	Pinus sylvestris	100cm tall
15%	Salix cinerea	120-150cm tall
15%	Crataegus monoguna	90-120cm tall
10%	Ilex aquifolium	100cm tall
20%	Sorbus aucuparia	120-150cm tall

Proposed Shrubs Planting

Name
S1 Cistus corbariensis
S2 Astelia 'Silver Spear'
S3 Prunus 'Luyken'
S4 Lavandula angustifolia



Lands at Forest Road, Swords, Co. Dublin

Additional Information 9:

- The applicant shall submit a revised Landscape Plan which shall include the following:
- e) Lamp standards to be located on hard surface/footpaths and not on grassed areas.
 - f) Seating to be located on same material as footpaths within public open space.

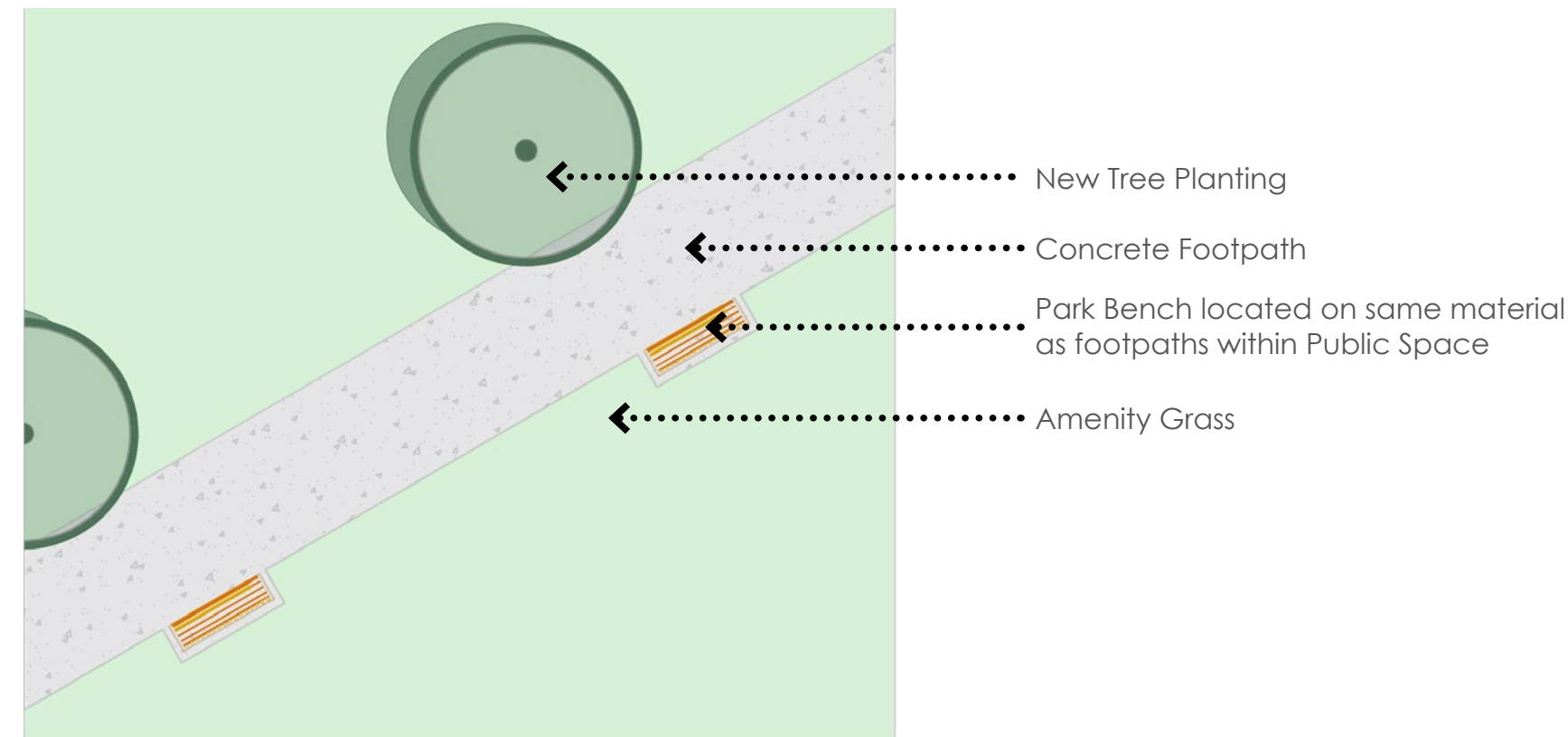
RMDA Response 9.e) and 9.f):

e) The layout has been revised and the lamps are to be located on hard surface/footpaths and not on grassed areas. Further details, including scaled drawings, are provided in drawing:

1875 - REV R - DWG 08 - Combined Landscape & Lighting Plan - Forest Road - RMDA

f) Seating is located on same material as footpaths within Open Public Space. Further details, including scaled drawings, are provided in drawing:

1875 - REV V - DWG 09 - Features Plan - Forest Road - RMDA



Park Park Bench Sofiero - HAGS
Ref: 8111190
Age Range: All Ages

